

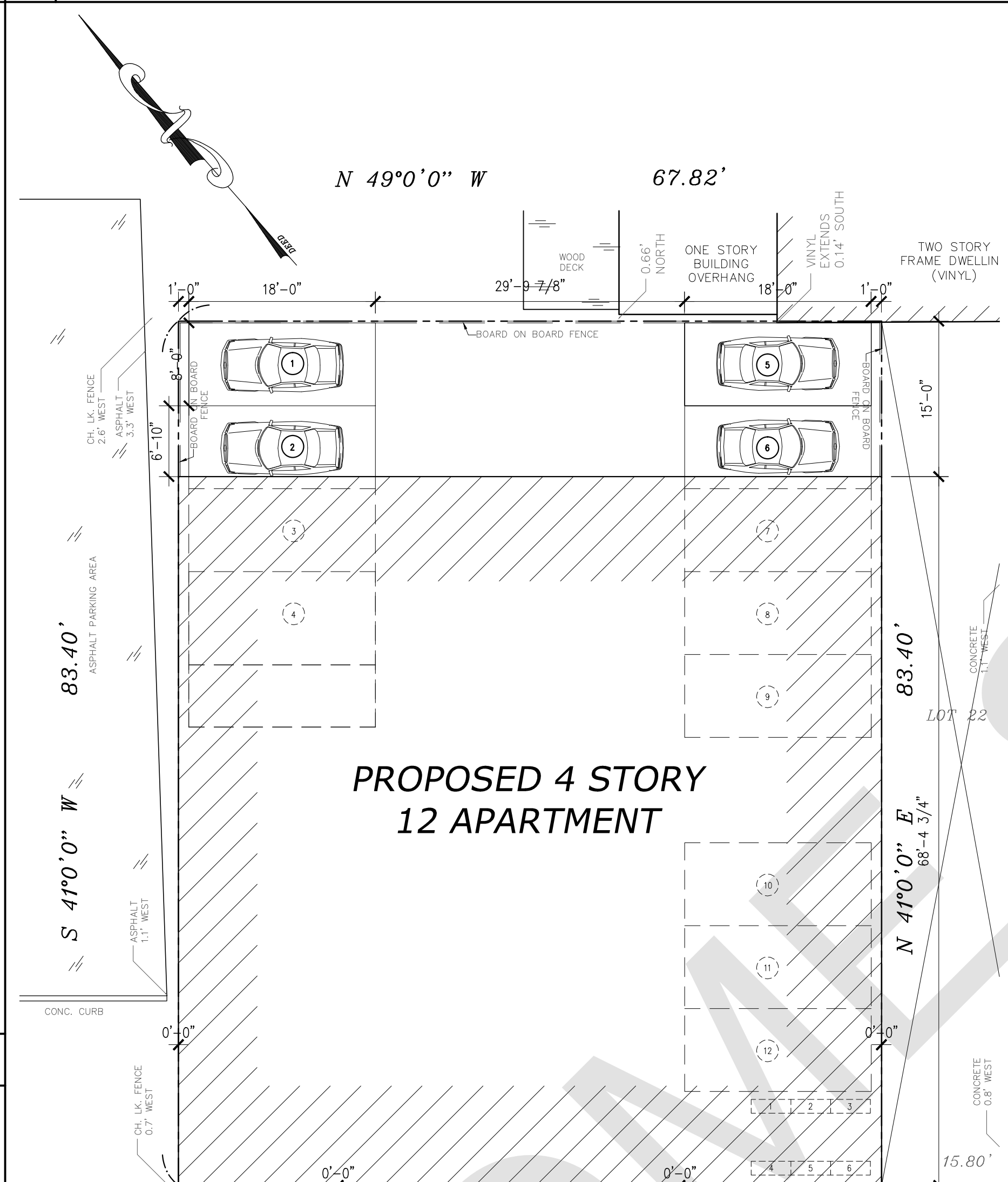
PROPOSED NEW 4 STORY & 12 APARTMENTS

276 DUNCAN AVE., JERSEY CITY, NJ

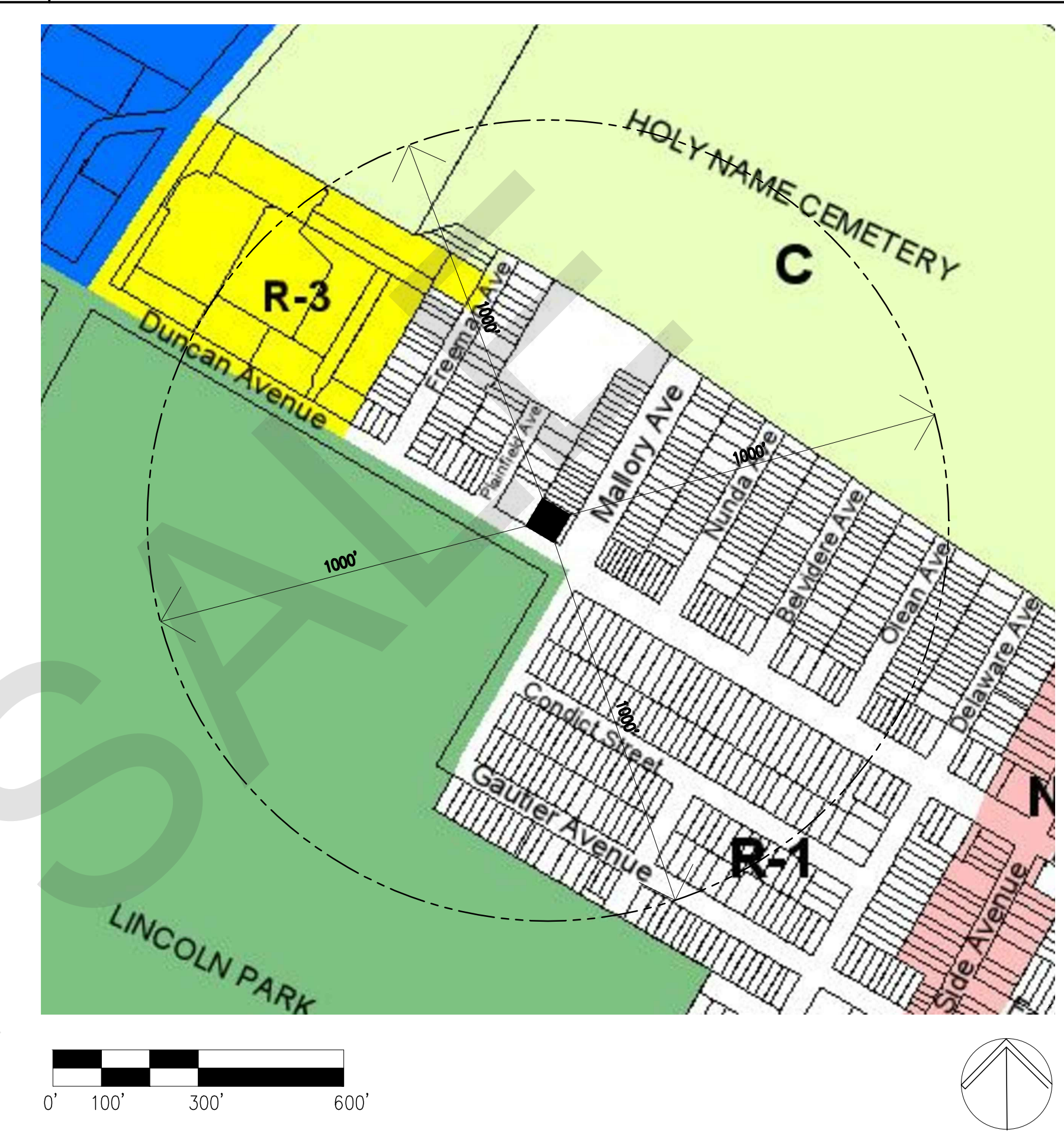
1 PHOTOGRAPH



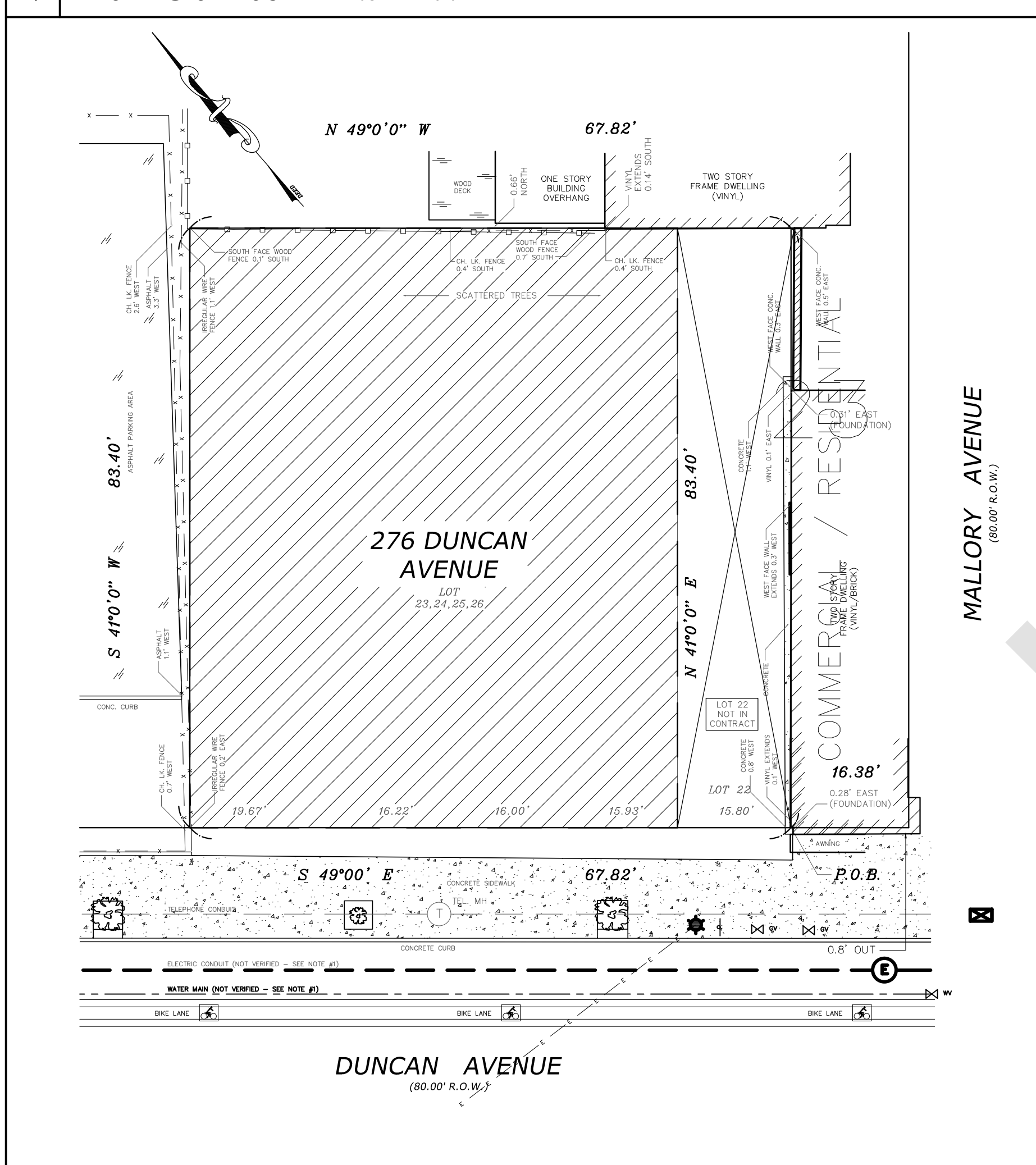
2 PROPOSED SITE SCALE 1"=10'-0"



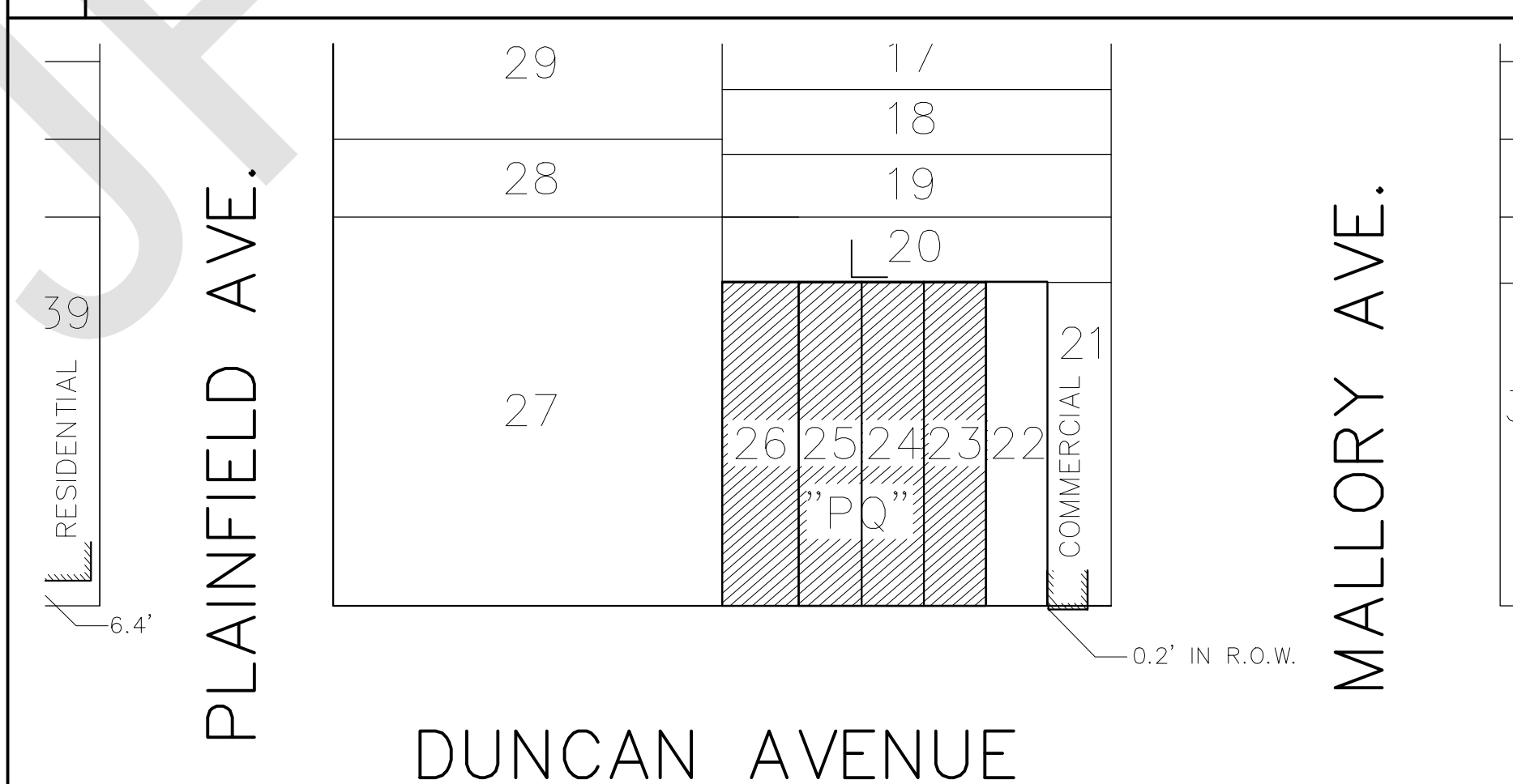
3 KEY MAP DEPICTING 1,000 FT. RADIUS SCALE: AS NOTED



4 EXISTING SITE SURVEY SCALE 1"=15'-0"



5 PRE-DOMINANT FRONT YARD SETBACK SCALE: 1"=40'-0"



6 ZONING COMPARISON CHART

PREMISES: 276 DUNCAN AVE., JERSEY CITY, NEW JERSEY
 ZONING DISTRICT: R1
 PROPOSED USE: PROPOSED NEW MULTI-FAMILY DWELLING

ZONE R1 - COMPARISON CHART					
	REQUIRED	EXISTING	PROPOSED	VARIANCE	COMMENTS
MINIMUM LOT AREA	2,500 SF	5,656.19 SF	NO CHANGE	NO	
MINIMUM LOT WIDTH	25 FT.	67.82 FT.	NO CHANGE	NO	
MINIMUM LOT DEPTH	100 FT.	83.4 FT.	NO CHANGE	YES	NON-COMFORMING
FRONT YARD SETBACK	PRE-DOMINANT	NONE	0 FT.	NO	PRE-DOMINANT
MINIMUM REAR YARD SETBACK*	20 FT.	NONE	15 FT	YES	
MINIMUM SIDE YARD SETBACK	2FT./3FT.	NONE	0 FT./0 FT.	YES	
TOTAL SIDE YARDS	5 FT.	NONE	0 FT.	YES	
MAXIMUM BUILDING HEIGHT	35 FT.	NONE	42.5 FT	YES	MAX. BLDG. HEIGHT DEPEND ON FL. TO FL.
* MIN. FLOOR TO CEILING HEIGHT	9 FT.	NONE	9 FT.	NO	MAX. BLDG. HEIGHT=35 FT./3 STORES
MAX. BUILDING COVERAGE	60%	NONE	82.01%	YES	
MAX. LOT COVERAGE	85%	NONE	100%	YES	
PARKING	NOT REQUIRED	NONE	12	NO	
MAX. CURB CUT WIDTH	10 FT.	NONE	10 FT.	NO	

BICYCLE PARKING CALCULATION: RESIDENTIAL PARKING FORMULA: .5 PER DWELLING UNITS
 12 DU X .5 = 6 BICYCLE PARKING REQUIRED

MULTI-FAMILY IS NOT PERMITTED AT R1 ZONE. VARIANCE IS REQUIRED

UNIT PER FLOOR (TYPICAL FLOORS 2, 3, 4)		
	AREA	NO. OF BEDROOMS
UNIT 1	916.70 S.F.	2
UNIT 2	967.04 S.F.	2
UNIT 3	938.95 S.F.	2
UNIT 4	872.47 S.F.	2

RA

Design & Consultants LLP

35 Journal Square
 Suite 402
 Jersey City, New Jersey 07306
 t. (201) 680-7132
 www.radellp.com

Raul Cabato, Architect
 email: raul@radellp.com

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BUILDING AND ZONING DATA	
MUNICIPALITY	JERSEY CITY
LOT	23,24,25,26
BLOCK	14602
ZONE	R-1
BUILDING CLASSIFICATION	3A
USE GROUP	R2
HEIGHT OF STRUCTURE	42.5 FT.

FLOOR AREA	
FLOOR	AREA
TOTAL	2108.33 SF
FIRST FLOOR	2108.33 SF
SECOND FLOOR	4638.89 S.F.
THIRD FLOOR	4638.89 S.F.
FOURTH FLOOR	4638.89 S.F.
TOTAL AREA	16,025 S.F.

VOLUME	
FLOOR	VOLUME
TOTAL	21083.3 C.F.
FIRST FLOOR	21083.3 C.F.
SECOND FLOOR	46,388.90 C.F.
THIRD FLOOR	46,388.90 C.F.
FOURTH FLOOR	46,388.90 C.F.
TOTAL VOLUME	160,250.00 C.F.

APPROVED BY THE PLANNING BOARD - CITY OF JERSEY CITY

BOARD SECRETARY	DATE
BOARD CHAIRMAN	DATE

NO.	DATE	COMMENT

APPROVAL STAMPS AND SIGNATURES

DRAWING TITLE: PHOTOGRAPH, SITE PLAN, ZONING COMPARISON CHART

PROJECT NAME AND ADDRESS: 276 DUNCAN AVE. JERSEY CITY, NEW JERSEY BLOCK: 14602, LOT: 23,24,25,26

PROJECT DESCRIPTION: CONSTRUCTION OF NEW MULTI-FAMILY BUILDING (4 STORY & 12 APARTMENTS)

OWNER'S NAME AND ADDRESS

SEAL	DRAWN BY: VM	SCALE: AS NOTED
	CHECKED BY: RC	DATE: OCTOBER 11, 2018
	FILE	BUILDING PLAN ID NUMBER
	PAGE NO.	Z-100

GENERAL NOTES

- EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY. SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE OWNER OR ARCHITECT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CURRENT BUILDING CODES OF NEW JERSEY. ANY NON-CONFORMING DOCUMENTS DISCOVERED BY CONTRACTOR OR HIS AGENTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ARCHITECT.
- THESE DRAWINGS DO NOT CONTAIN COMPLETE SPECIFICATIONS, DETAILS AND INFORMATION REQUIRED FOR THE INTERIOR FINISHES OF THE PROJECT. ADDITIONAL INFORMATION SHALL BE OBTAINED FROM THE OWNER.
- ALL SITE WORK AND LANDSCAPING IS TO BE ESTABLISHED AND DESIGNED BY OTHERS THAN THE ARCHITECT UNLESS SHOWN ON THESE DRAWINGS. ALL MECHANICAL WORK SUCH AS, BUT NOT LIMITED TO, ELECTRICAL, PLUMBING, HEATING, AIR CONDITIONING, VENTILATING, ETC. ARE TO BE ESTABLISHED AND DESIGNED BY OTHERS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK AND FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- ANY ERRORS, OMISSIONS OR INCONSISTENCIES ON THESE DRAWINGS OR ANY VARIATIONS OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ARCHITECT IN WRITING AND RESOLVED AND DOCUMENTED IN WRITING BEFORE CONTINUING THE WORK IN QUESTION.
- ALL INTERIOR STUD WALLS ARE DIMENSIONED AT 4'-2" UNLESS NOTED OTHERWISE.
- ASSUME MINIMUM FIBER STRESS 1350 P.S.I. FOR ALL STRUCTURAL BEAMS AND HEADERS UNLESS OTHERWISE NOTED (DOUGLAS FIR).
- SMOKE DETECTORS TO BE AC POWERED AND U. L. APPROVED W/BATTERY BACKUP.
- INDIVIDUAL AIR CONDITIONING UNITS MUST HAVE ADEQUATE RETURN AIR.
- ALL LAVATORIES AND BATHS SHALL BE MECHANICALLY VENTILATED THROUGH NON-COMBUSTIBLE DUCTS TO PROVIDE AND CHANGE AIR EVERY 12 MINUTES (UNDERCUT BATHROOM DOOR 1").
- IN ABSENCE OF NAILING SCHEDULE, PREPARED BY ARCHITECT OR ENGINEERS, ACCEPTED BY BUILDING OFFICIAL, USE NAILING SCHEDULE IN THE CURRENT BUILDING CODE APPENDICES.
- CONTRACTOR MUST VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- CONTRACTOR MUST VERIFY ALL MEASUREMENTS AT SITE AND BE RESPONSIBLE FOR ACCURACY AND CORRECTNESS OF SAME.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES.
- ALL PATIOS AND PORCHES TO BE SLOPED 1/8" PER 1'-0" IN DIRECTION INDICATED ON THE FOUNDATION PLANS.
- ALL SILLS IN CONTACT WITH CONCRETE TO BE WOLMANIZED AND HAVE A CONTINUOUS SILL SEALER (FULL BED OF MASTIC) AND TERMITE SHIELDS.
- PROVIDE SOLID BLOCKING, DOUBLE JOISTS, DBL TRIMMERS AND HEADERS UNDER ALL PARALLEL PARTITIONS, UNDERNEATH TUBS AND STAIR OPENINGS, AS REQUIRED.
- REMOVE RUBBISH FROM PREMISES AS OFTEN AS NECESSARY OR DIRECTED.
- ALL WORK AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER BEFORE TURNING SAME OVER TO OWNER.
- SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING AND INSTALLING ANY EQUIPMENT. FOUR COPIES OF EACH SUBMITTAL ARE REQUIRED. THE CONTRACTOR MAY SUBMIT FOR APPROVAL, TO DAYS PRIOR TO PRESENTATION OF NEGOTIATED PRICE TO OWNER, ALTERNATE MANUFACTURERS OF ALL ITEMS SPECIFIED ON THESE DRAWINGS. CONTRACTOR MUST CHECK ALL SHOP DRAWINGS, NOTING ANY DISCREPANCIES PRIOR TO SUBMISSION.
- THE CONTRACTOR SHALL PAY ALL FEES. GIVE ALL NOTICES, FILE ALL NECESSARY DRAWINGS AND OBTAIN ALL PERMITS AND CERTIFICATES OF APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THESE CONTRACT DOCUMENTS. HE SHALL COMPLY WITH ALL LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.
- THERE SHALL BE NO DEVIATION FROM SPECIFICATIONS WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
- ALL PLUMBING WALLS SHALL BE FRAMED WITH 2 X 6 STUDS. REMAINING INTERIOR STUD WALLS SHALL BE FRAMED WITH 2 X 4 STUDS UNLESS NOTED OTHERWISE.
- ALL WOOD FRAMING AT BEARING WALLS SHALL BE AS FOLLOWS:
1ST FLOOR 2 X 4'S AT 16"O.C.
2ND FLOOR 2 X 4'S AT 16"O.C.
- ROOFING SHALL BE CLASS "C" FIBERGLASS SHINGLES.
- ALL ROOF EDGES SHALL HAVE ICE AND WATER SHIELD EXTENDING FROM BUILDING EDGE TO 24" OVER HEATED SPACE BELOW.
- ALL EXPOSED MATERIALS FOR PORCHES, SOFFITS, OVERHANGS, ETC. TO BE APPROVED EXTERIOR GRADE.
- THERE SHALL BE AN AIR SUPPLY VENT IN EVERY BATHROOM (EXHAUST FAN OPTIONAL IF CODE ALLOWS).
- MINIMUM MECHANICAL VENTILATION REQUIREMENTS ARE:
RESIDENTIAL AREAS 5 AIR CHANGES PER HOUR
BATHROOMS 7 AIR CHANGES PER HOUR
- CORROSION RESISTANT FLASHING IS REQUIRED AT THE TOP AND SIDES OF ALL WINDOWS AND ROOF OPENINGS AND AT THE INTERSECTION OF CHIMNEYS MASONRY AND/OR WOOD CONSTRUCTION AND FRAME WALLS OR APPROVED WATER RESISTANT SHEATHING AND CAULKING TO BE USED AT TOP AND SIDES TO GUARANTEE LEAKPROOF.

APPLICABLE CODES - NEW JERSEY

INTERNATIONAL BUILDING CODE -NJ ED., 2018
OBTAINED FROM: INTERNATIONAL CODE COUNCIL, INC. [888] 422-7233

NATIONAL FIRE PROTECTION ASSOCIATION REFERENCED STANDARDS OBTAINED FROM: NATIONAL FIRE PROTECTION ASSOC. [617] 770-3000 OR WWW.NFPA.ORG

INTERNATIONAL STANDARD PLUMBING CODE, 2018
OBTAINED FROM: NATIONAL ASSOC. OF PLUMBING-HEATING-COOLING CONTRACTORS IN NEW JERSEY AT [800] 652-7422 OR NAPHCC [800] 533-7694

NATIONAL ELECTRICAL CODE, 2017
OBTAINED FROM: NATIONAL FIRE PROTECTION ASSOC [617] 770-3000

INTERNATIONAL ENERGY CONSERVATION CODE, 2018 (RESIDENTIAL)
OBTAINED FROM: INTERNATIONAL CODE COUNCIL [888] 422-7233
ASHRAE 90.1-2013 (COMMERCIAL)

INTERNATIONAL MECHANICAL CODE, 2018
OBTAINED FROM: INTERNATIONAL CODE COUNCIL [888] 422-7233

INTERNATIONAL FUEL GAS CODE, 2018
OBTAINED FROM: INTERNATIONAL CODE COUNCIL [888] 422-7233

INTERNATIONAL RESIDENTIAL CODE -NJ ED., 2018
OBTAINED FROM: INTERNATIONAL CODE COUNCIL [888] 422-7233

REHABILITATION SUBCODE - NJAC 5:23-6
OBTAINED FROM: STATE OF NJ, DEPARTMENT OF COMMUNITY AFFAIRS, DIVISION OF CODES AND STANDARDS [609] 984-0040

BARRIER-FREE SUBCODE - NJAC 5:23-7
OBTAINED FROM: STATE OF NJ, DEPARTMENT OF COMMUNITY AFFAIRS, DIVISION OF CODES AND STANDARDS [609] 984-0040

ANSI A117.1-2009
OBTAINED FROM: ANSI 11 WEST 42ND ST NEW YORK, NY 10036 OR
INTERNATIONAL CODE COUNCIL [888] 422-7233

**CITY OF JERSEY CITY
CONSTRUCTION PLAN REVIEW FEE
COMPUTATION
FOR NEW CONSTRUCTION AND
ADDITIONS**

NEW CONSTRUCTION/ADDITIONS FOR BUILDINGS IN USE GROUPS: A-1, A-2, A-3, A-4, A-5, F-1, F-2, S-1, S-2	
VOLUME OF BUILDING =	VOLUME OF BUILDING MULTIPLIED BY 0.015 =

NEW CONSTRUCTION/ADDITIONS FOR BUILDING IN USE GROUPS: B, E, M, R, I, (ALL OTHERS NOT LISTED)	
VOLUME OF BUILDING =	VOLUME OF BUILDING MULTIPLIED BY 0.027 =

RENOVATION COSTS		
TOTAL OF TRADES =	TOTAL OF TRADES DIVIDED BY 1000 =	MULTIPLY BY 15.00 =

IF PROJECT CONSISTS OF BOTH NEW CONSTRUCTION AND ALTERATIONS COMBINE THE 2 FEES.

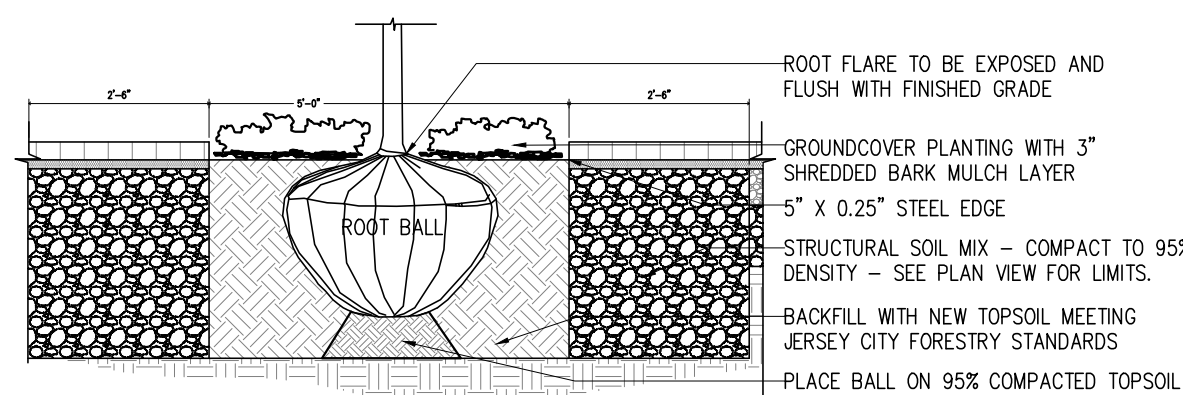
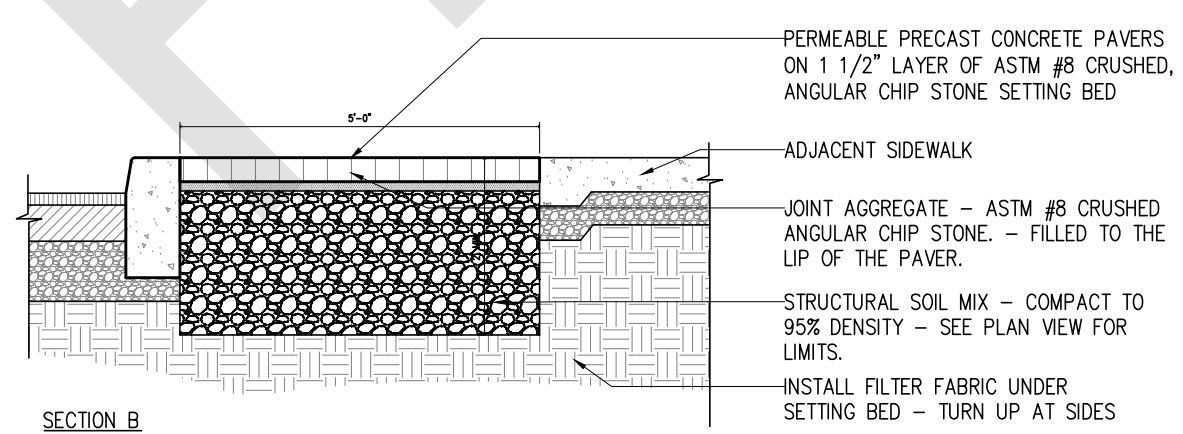
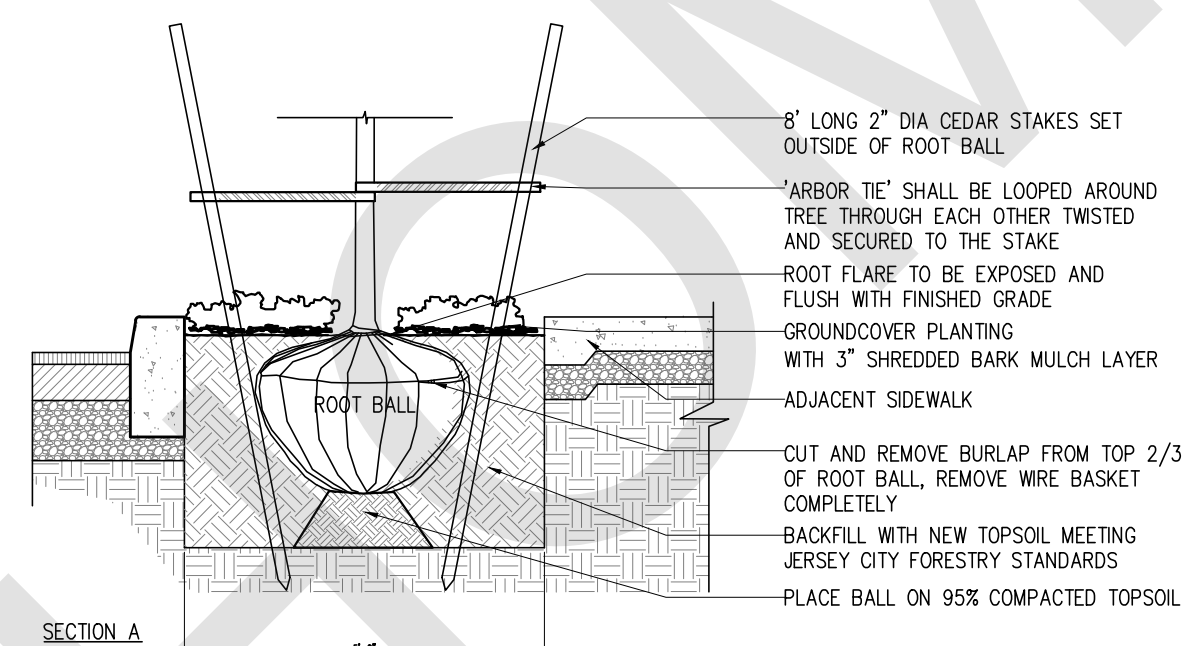
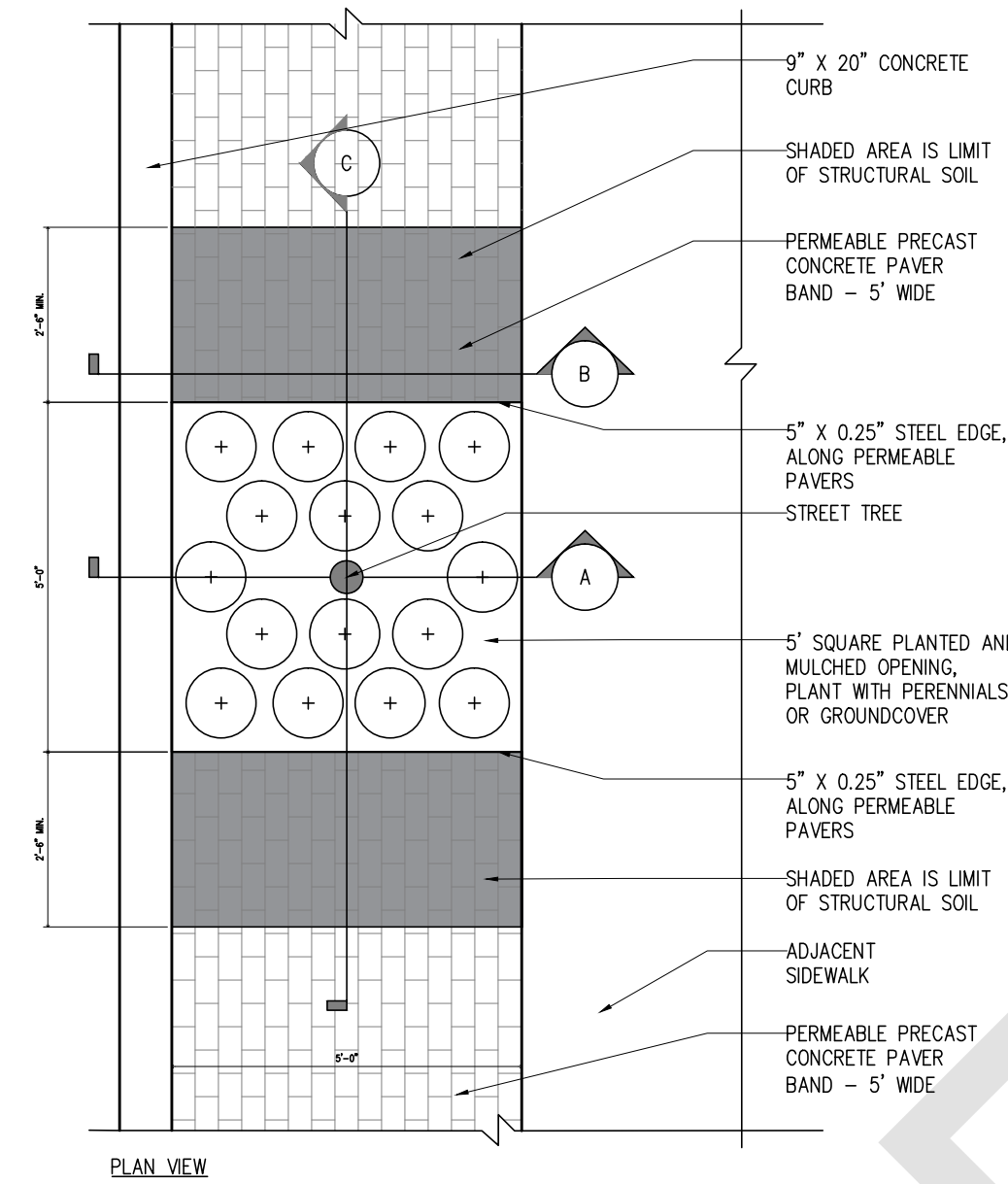
FOOTINGS AND FOUNDATIONS		
SQUARE FOOTAGE OF FLOOR =	MULTIPLY SQ. FT. OF FLOOR BY 3 =	MULTIPLY BY EITHER 0.015 OR 0.027 =

BASED UPON THE CALCULATIONS ABOVE THE TOTAL ESTIMATED FEE IS:

MULTIPLY TOTAL FEE BY 25% =

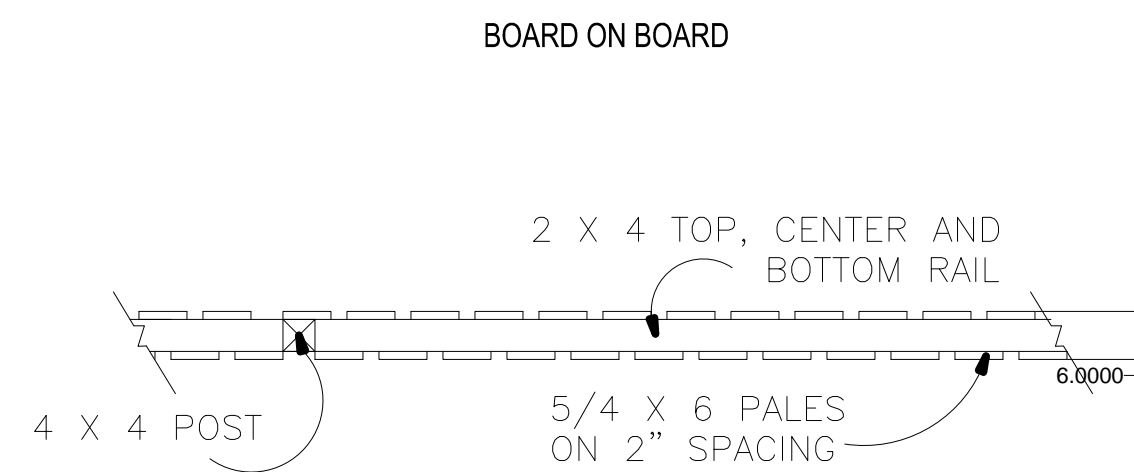
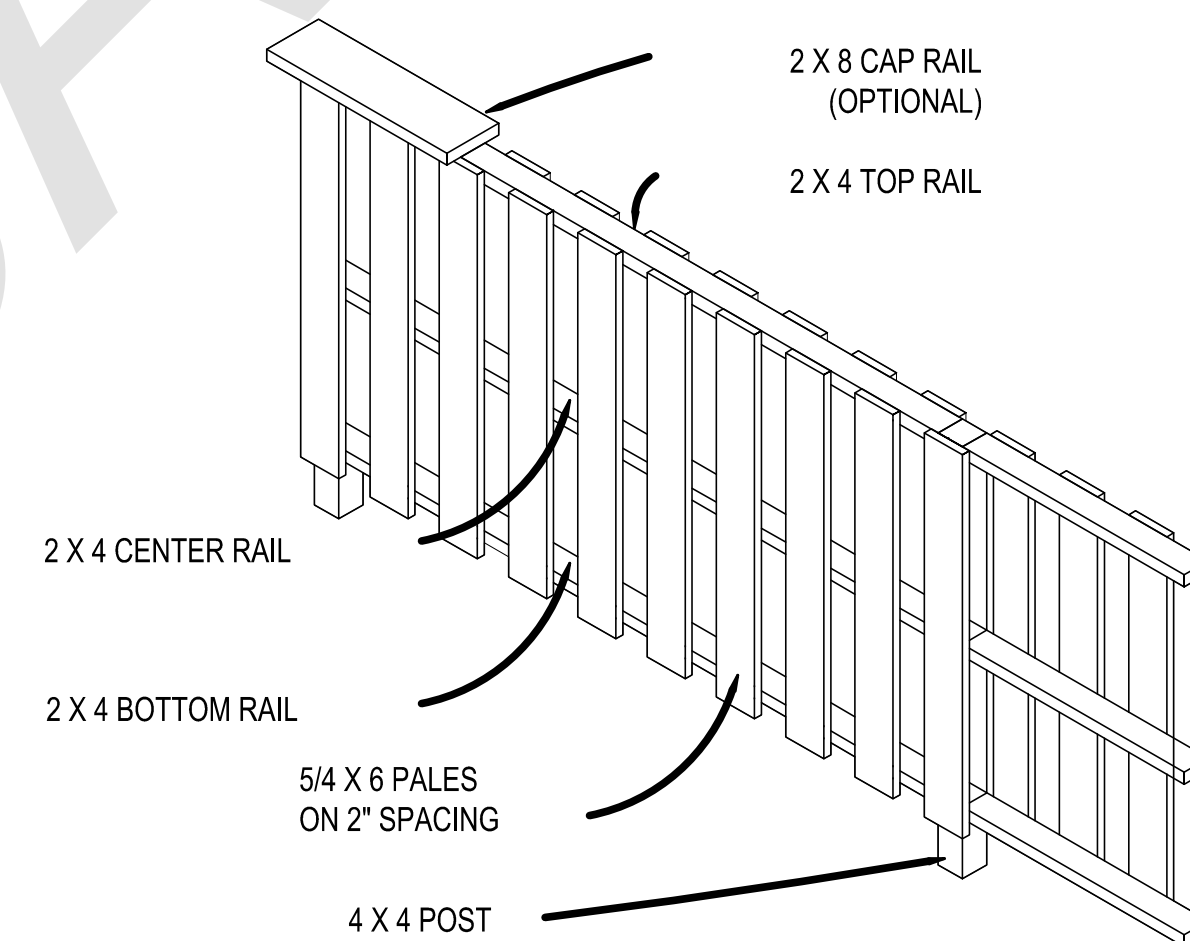
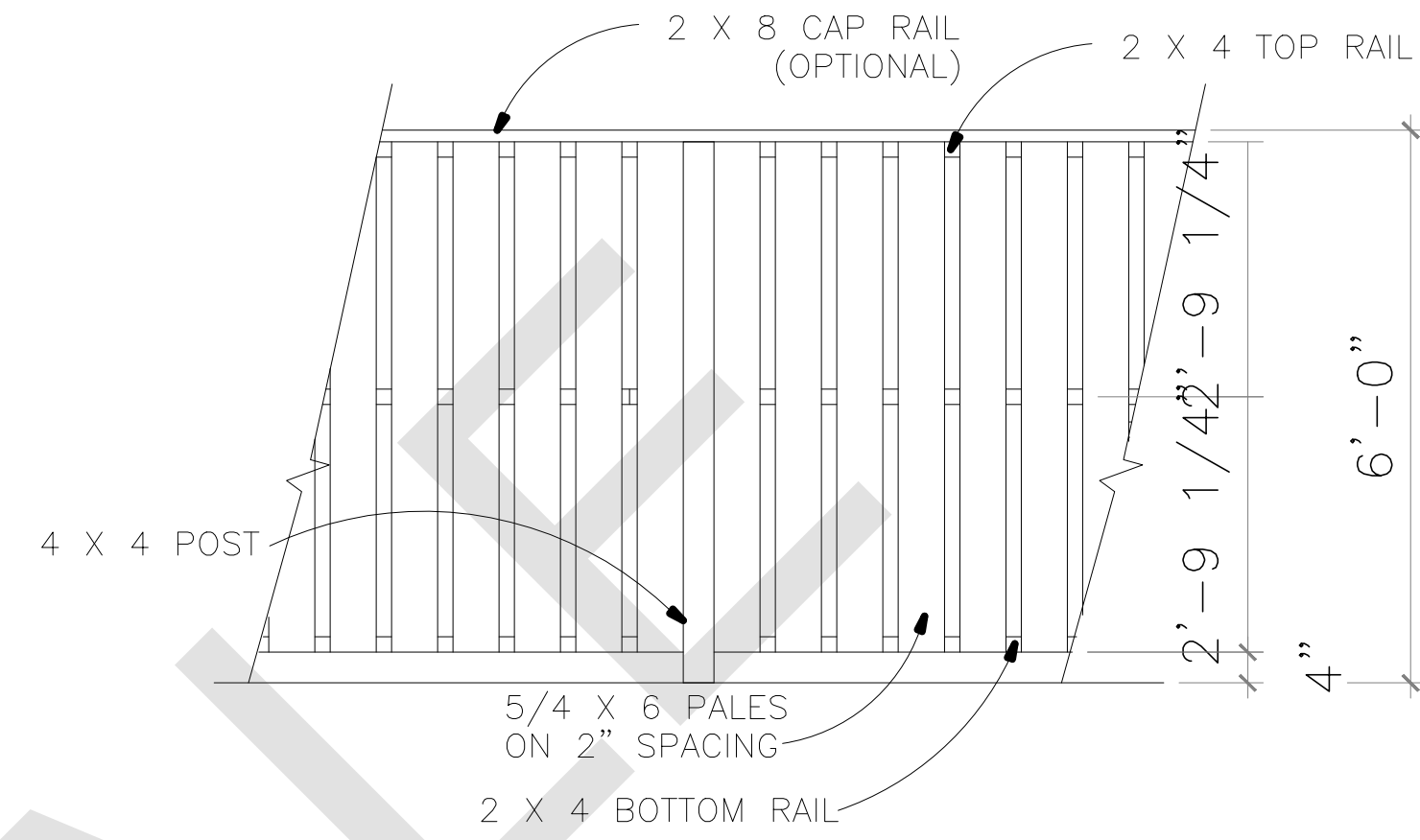
ENCLOSED FOR PLAN REVIEW FEE, ROUNDED TO THE NEAREST DOLLAR. CHECK IS MADE PAYABLE TO: CITY TREASURER OF JERSEY CITY

QTY	SYMBOL	COMMON NAME	LATIN NAME	RECOMMENDED CULTIVARS	RECOMMENDED UNDER POWER LINES
1		COMMON HORNBEAM	CARPINUS BETULUS	FASTIGATA	YES



SECTION C
STREET TREE PLANTING DETAIL - 5' X 10'
OPEN TREE PIT WITH STRUCTURAL SOIL

1 STREET TREE DETAIL SCALE: NTS



2 BOARD ON BOARD FENCE DETAIL SCALE: NTS

RA Design & Consultants LLP

35 Journal Square
Suite 402
Jersey City, New Jersey 07306
t. (201) 680-7132
www.radellp.com

Raul Cabato, Architect
email: raul@radellp.com

Connecticut License No. 13884
New Jersey License No. 21A101463700
New York License No. 025075

1	SEPT. 18, 2020	JC BUILDING DEPT. REVISION
2	FEB. 12, 2019	JCMUA REVISION
3	JAN. 24, 2019	JCMUA REVISION
NO.	DATE	COMMENT

APPROVAL STAMPS AND SIGNATURES

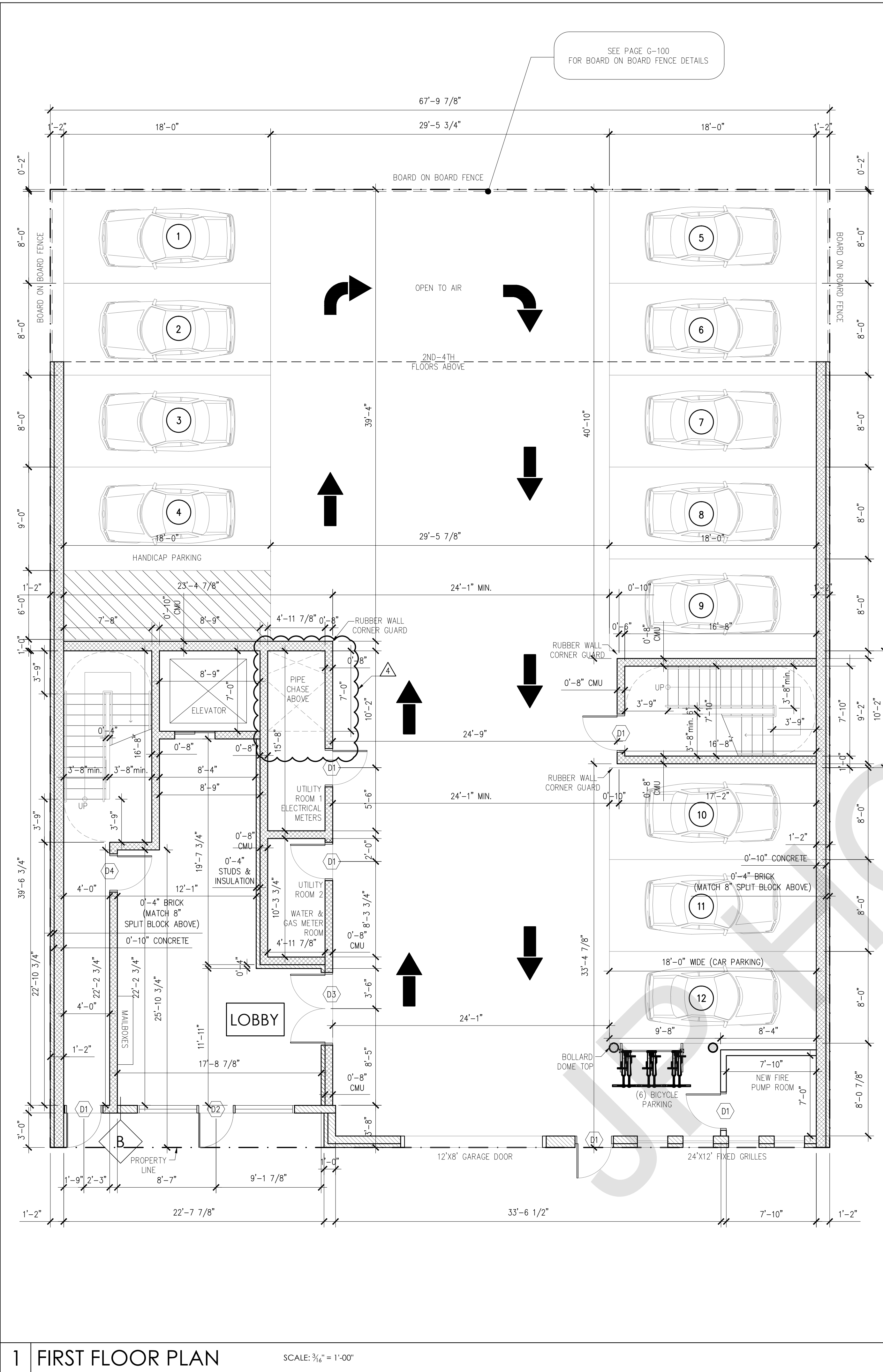
DRAWING TITLE	BSCAN STICKER
GENERAL NOTES, STREET TREE, & BOARD ON BOARD FENCE DETAIL	

PROJECT NAME AND ADDRESS
276 DUNCAN AVE.
JERSEY CITY, NEW JERSEY
BLOCK: 14602, LOT: 23,24,25,26

PROJECT DESCRIPTION
CONSTRUCTION OF NEW
MULTI-FAMILY BUILDING
(4 STORY & 12 APARTMENTS)

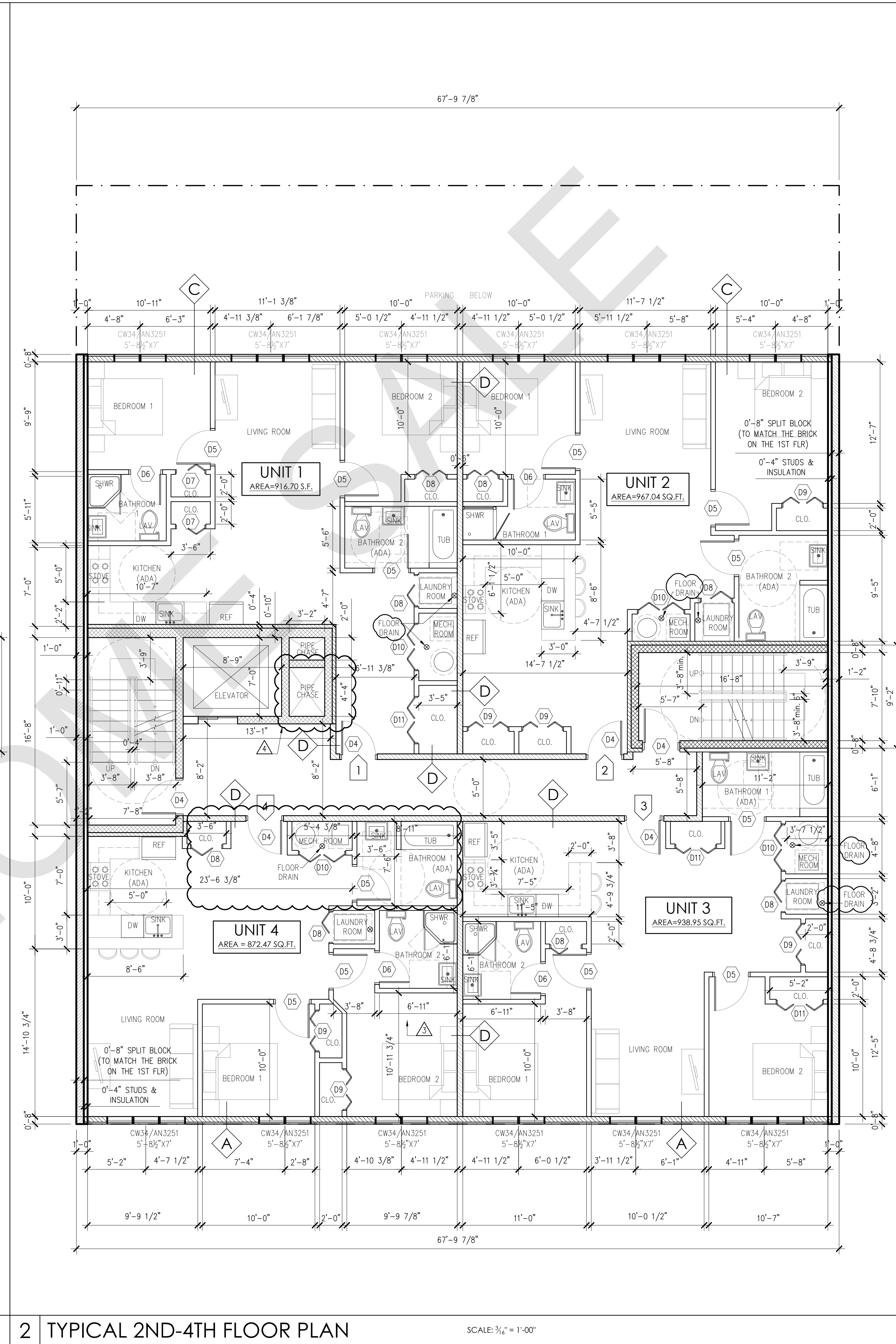
OWNER'S NAME AND ADDRESS

SEAL	DRAWN BY VM	SCALE AS NOTED
	CHECKED BY RC	DATE OCTOBER 11, 2018
	FILE	BUILDING PLAN ID NUMBER G-100
	PAGE NO.	



1 FIRST FLOOR PLAN

SCALE: 3/16" = 1'-00"



2 TYPICAL 2ND-4TH FLOOR PLAN

SCALE: 3/16" = 1'-00"

RA
Design & Consultants LLP
 35 Journal Square
 Suite 402
 Jersey City, New Jersey 07306
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NO.	DATE	COMMENT
△	SEPT. 21, 2020	JC BUILDING DEPT. REVISION
△	SEPT. 18, 2020	JC BUILDING DEPT. REVISION
△	MARCH 2, 2020	REVISION
△	JAN. 24, 2019	JCMJA REVISION

APPROVAL STAMPS AND SIGNATURES

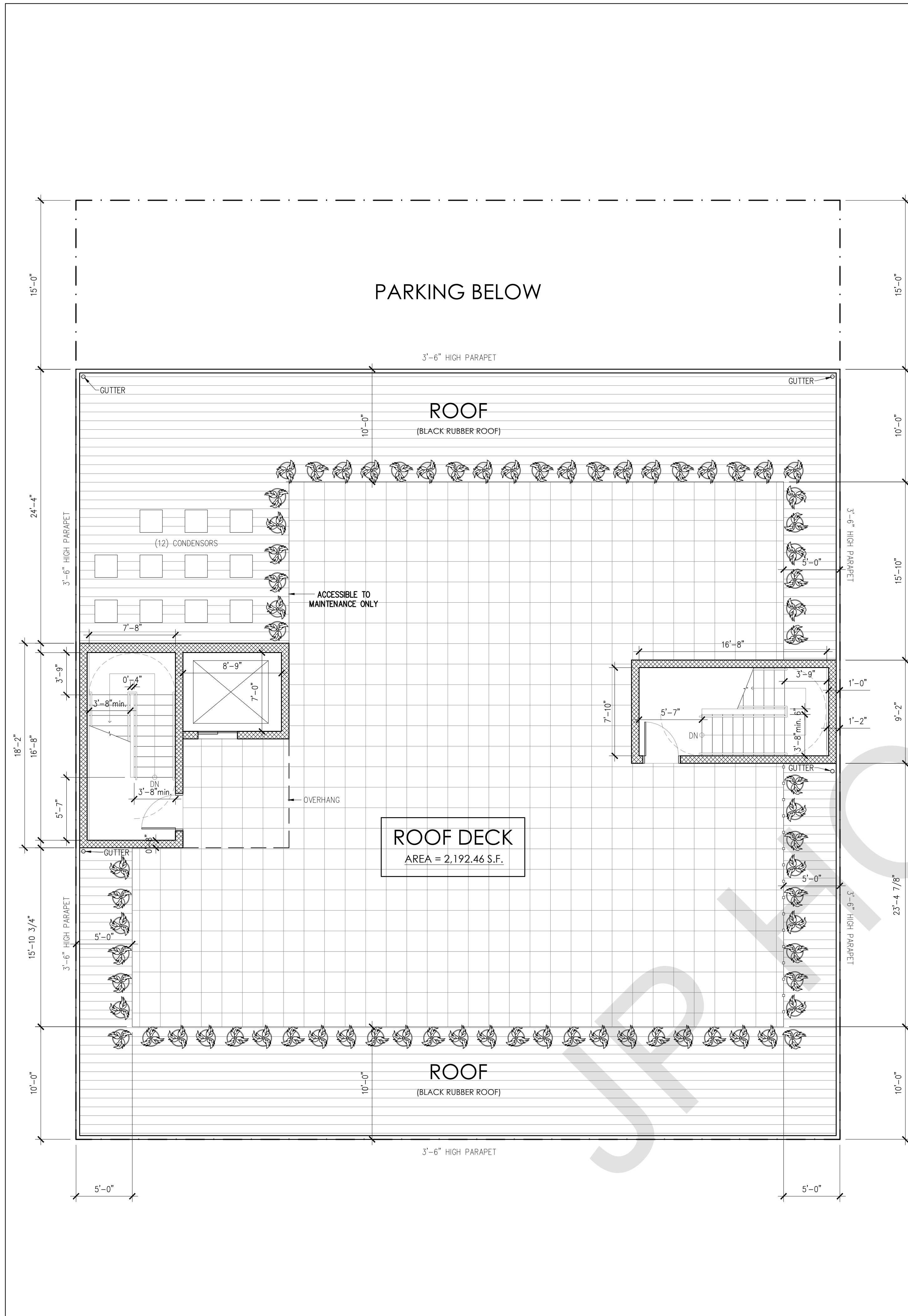
DRAWING TITLE
**PROPOSED 1ST FLOOR PLAN,
 2ND-4TH FLOOR PLANS**

PROJECT NAME AND ADDRESS
**276 DUNCAN AVE.
 JERSEY CITY, NEW JERSEY
 BLOCK: 14602, LOT: 23,24,25,26**

PROJECT DESCRIPTION
**CONSTRUCTION OF NEW
 MULTI-FAMILY BUILDING
 (4 STORY & 12 APARTMENTS)**

OWNER'S NAME AND ADDRESS

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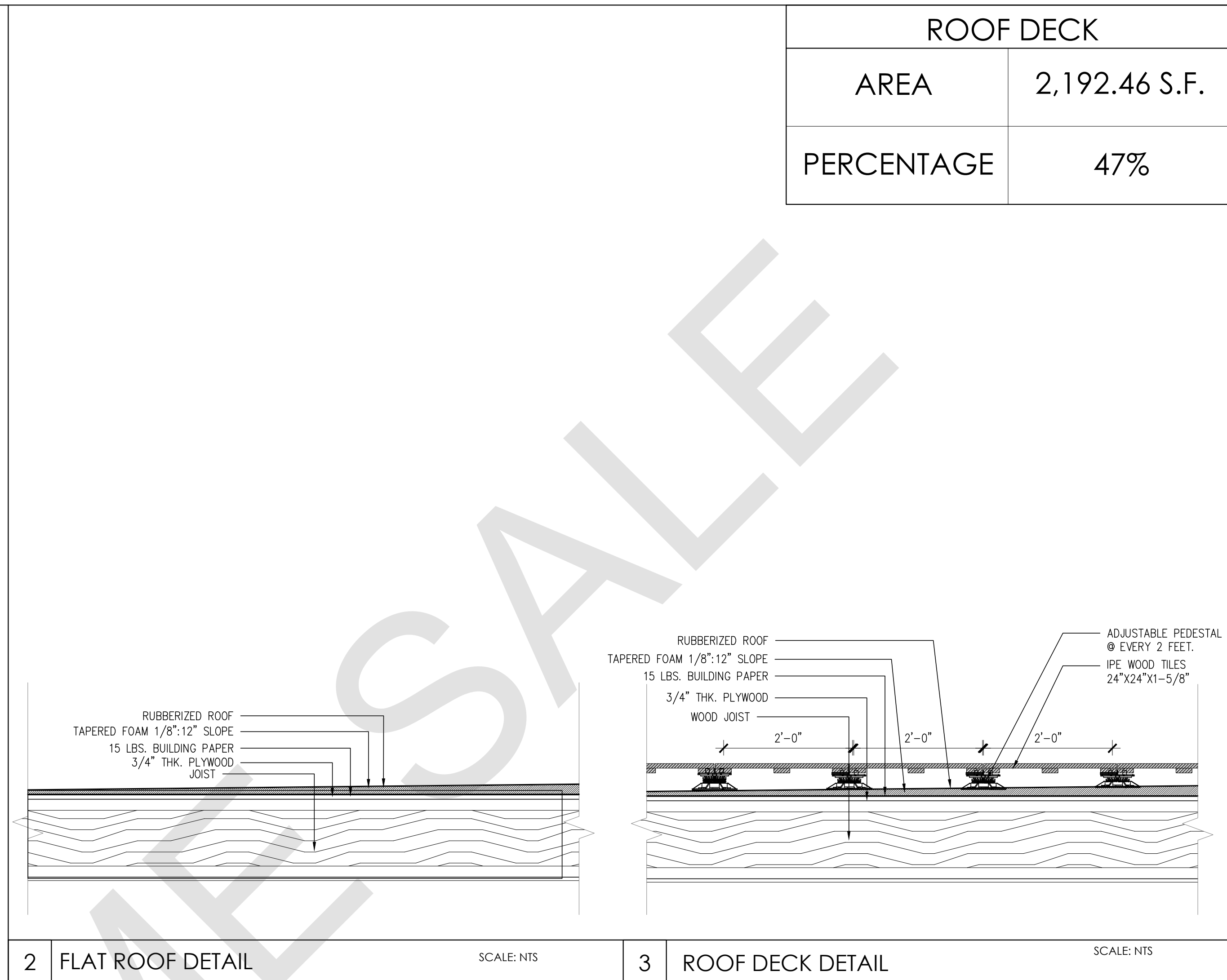
ROOF DECK	
AREA	2,192.46 S.F.
PERCENTAGE	47%

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10 Pedestal System - Installation

- In a typical installation do not start first row of pavers at perimeter wall, instead begin installation of full pavers at the second row in the roof field.
- Mark perpendicular guidelines on substrate surface to ensure square layout.
- The first height of the pedestal is then determined and PVC pipe is cut with a standard 12" shop saw to the required height, less 3/8" for bottom base and collar inserts plus buffer pad. The Uni-Insert will provide additional 3/4" or 1-1/2" of height depending on the model size used.
- Install initial pavers along guidelines forming a "T" pattern. Install remaining field pavers out from "T".
- Perimeter pavers are installed last and normally cut and less than full size to ensure proper layout and fit. Pedestal spacer tabs can be removed in order to position pedestals at perimeter just tangent to wall.
- Any section of the roof that receives concrete pavers that is not restrained by an abutting wall or parapet must be "boxed in" by some field installed restraint. No movement should be allowed at the perimeter of a paver system.

PLAN VIEW

A step above the rest...

Quick water drainage. The gap between and under Tile Tech IPE Tiles™ allows for rapid water discharge on to substrate surface.

Concealment of utilities, pipes and drains. The void between the IPE Tiles and membranes can be used to accommodate pipes and services including drains, but retain easy access for maintenance and repair.

Thermal insulation & protection. The void between the paving and membrane encourages constant air circulation, extending the life of the waterproofing and improving heat insulation in addition to protecting the substrate surface from UV degradation.

Level paving & significant less weight. With no requirement for special surface preparators, such as sand or aggregate bedding the floating system provides a level, light weight solution, allowing structures to be built with less loading on structure and at substantially lower cost.

tiletechpavers.com

11 Pedestal System - Installation

Single Ply Sheet Membrane Tile Tech IPE™

- Single Ply Sheet Membrane
- Tile Tech IPE™
- Pedestals Adjustable 1/2" - 22" High
- Extruded Polystyrene Insulation (Optional)
- Protection Board and/or Drain Mat
- Waterproofing Membrane (ie. EPDM, PVC, TPO or CSP)
- Structural Concrete

Hot Rubber

- Tile Tech IPE™
- Pedestals Adjustable 1/2" - 22" High
- Extruded Polystyrene Insulation (Optional)
- Protection Board and/or Drain Mat
- Hot Applied Membrane
- Reinforcing Fabric
- Hot Applied Membrane Primer
- Structural Concrete

Modified Bitumen

- Tile Tech IPE™
- Pedestals Adjustable 1/2" - 22" High
- Extruded Polystyrene Insulation (Optional)
- Protection Board and/or Drain Mat
- Waterproofing Membrane (ie. peel & stick, BUR, APP, SBS)
- Primer
- Structural Concrete

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1 ROOF DECK PLAN SCALE: 3/16" = 1'-00"

4 ROOF DECK MATERIAL

NO.	DATE	COMMENT
△	MARCH 2, 2020	REVISION
△	JAN. 24, 2019	JCMJA REVISION

APPROVAL STAMPS AND SIGNATURES

DRAWING TITLE: PROPOSED ROOF PLAN

BSCAN STICKER

PROJECT NAME AND ADDRESS: 276 DUNCAN AVE. JERSEY CITY, NEW JERSEY BLOCK: 14602, LOT: 23,24,25,26

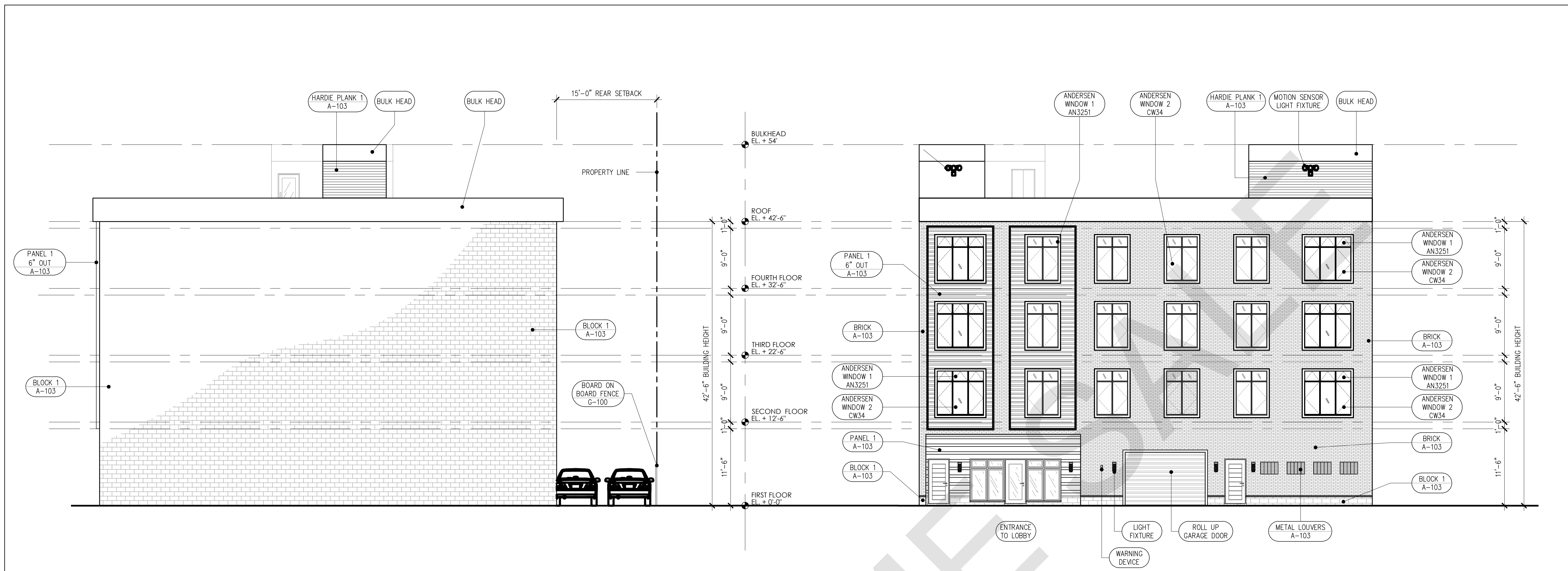
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OWNER'S NAME AND ADDRESS

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	CHECKED BY: RC	DATE: OCTOBER 11, 2018
	FILE	BUILDING PLAN ID NUMBER
	PAGE NO.	A-101

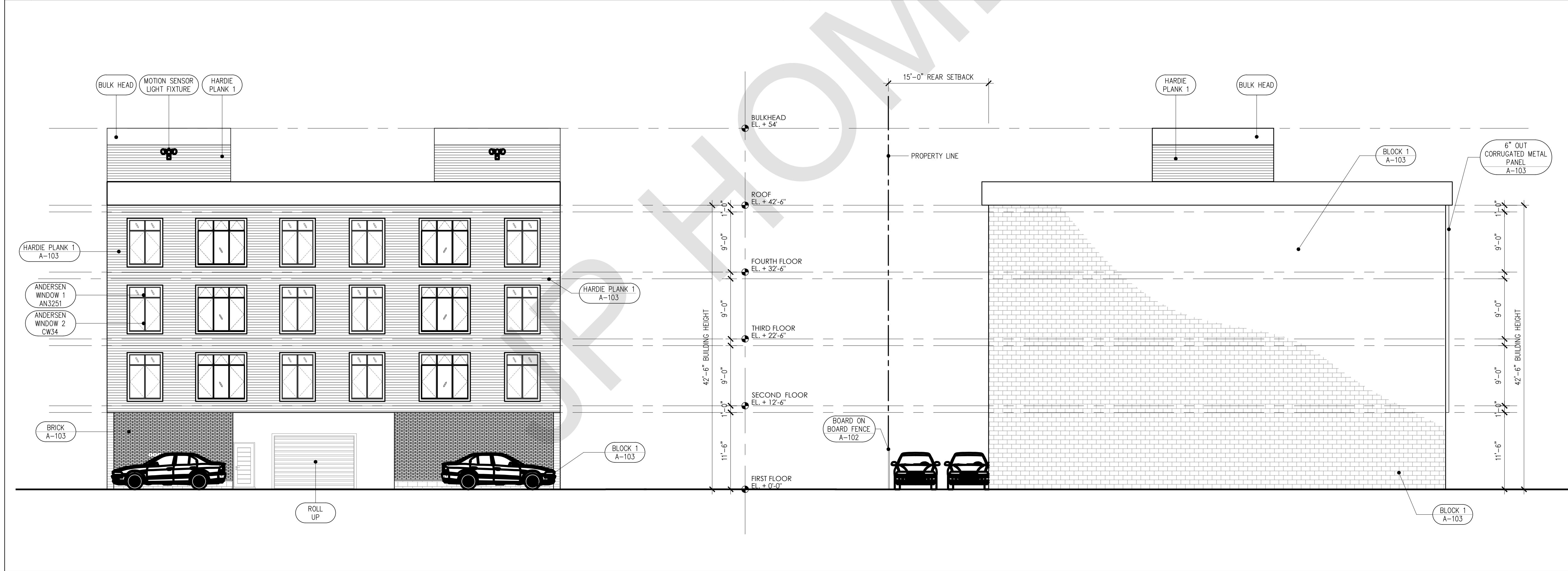
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 email: raul@radellp.com
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SEE MATERIAL CUT SHEET
 A-103




1 SOUTH-EAST ELEVATION SCALE: 1/8" = 1'-00"

2 SOUTH-WEST ELEVATION (DUNCAN AVE.) SCALE: 1/8" = 1'-00"



3 NORTH-EAST (REAR) ELEVATION SCALE: 1/8" = 1'-00"

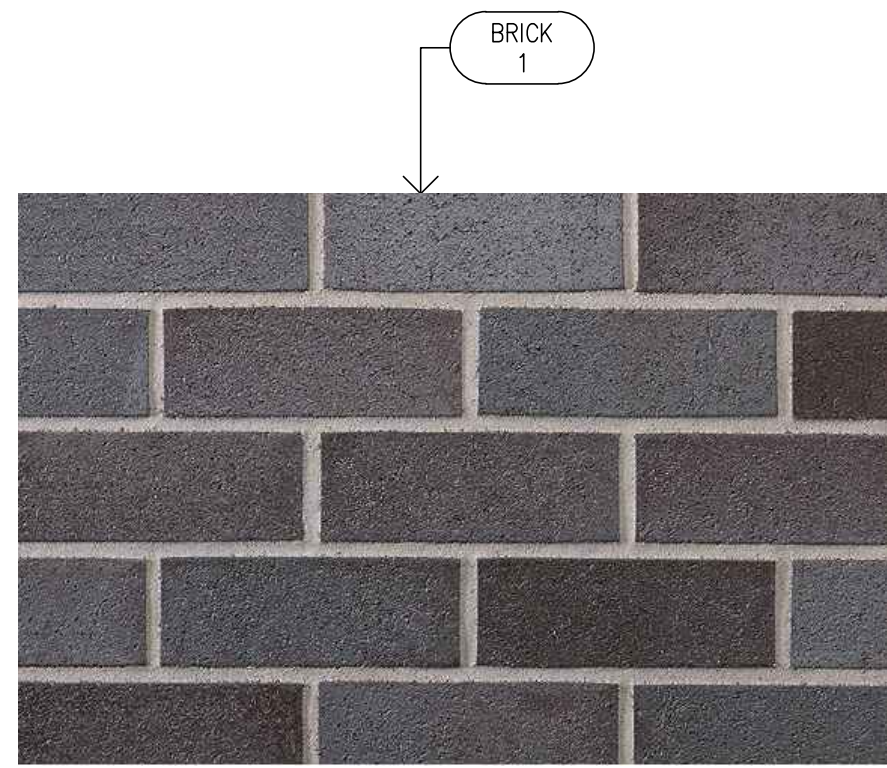
4 NORTH-WEST ELEVATION SCALE: 1/8" = 1'-00"

NO.	DATE	COMMENT
APPROVAL STAMPS AND SIGNATURES		
DRAWING TITLE		SCAN STICKER
PROPOSED ELEVATIONS		
PROJECT NAME AND ADDRESS		
276 DUNCAN AVE. JERSEY CITY, NEW JERSEY BLOCK: 14602, LOT: 23,24,25,26		
PROJECT DESCRIPTION		
CONSTRUCTION OF NEW MULTI-FAMILY BUILDING (4 STORY & 12 APARTMENTS)		
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	FILE	BUILDING PLAN ID NUMBER
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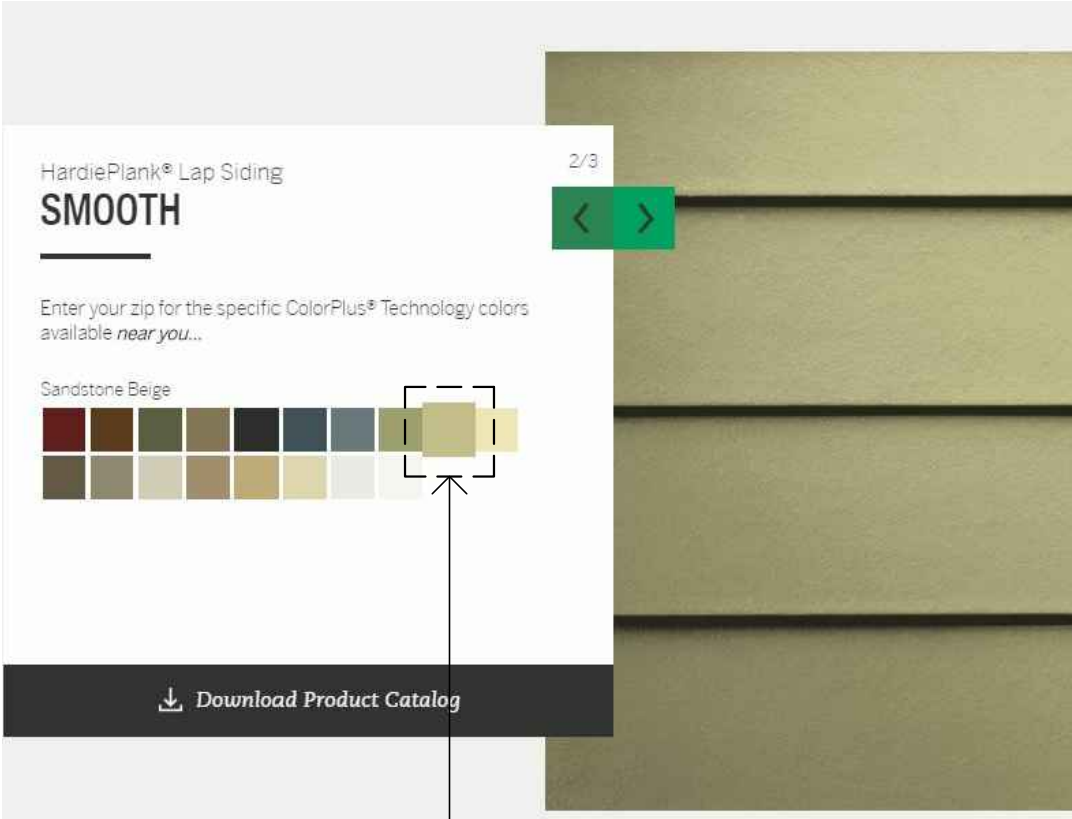
BELDEN TRI-STATE BUILDING MATERIAL
169 NORTH MIDLAND AVENUE,
SADDLE BROOK, NJ 07663
PHONE: 201-509-4614
WEBSITE: WWW.BTSBM.COM



NAME OF PRODUCT: MODULAR ASHBERRY VELOUR A (15-46)
COLOR: BLACK/RED
TEXTURE: VELOUR

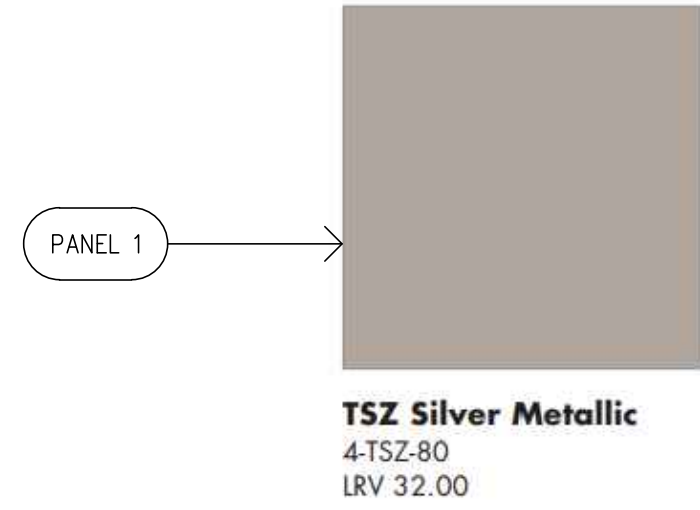


HARDIE PLANK
231 S. LA SALLE ST., SUITE 2000
CHICAGO, ILLINOIS 60604
TOLL-FREE PHONE: 1-888 J-HARDIE (1-888 542-7343)
USA WEBSITE: WWW.JAMESHARDIE.COM



HARDIE 1
COLOR: SANDSTONE BEIGE

ESTOLGA (PANELS & COLUMNS)
3114 TONNELLE AVENUE
NORTH BERGEN, NEW JERSEY, 07047
PHONE: 1-888-520-8800
EMAIL: info@alliedmetal.com
WEB: http://alliedmetal.com/

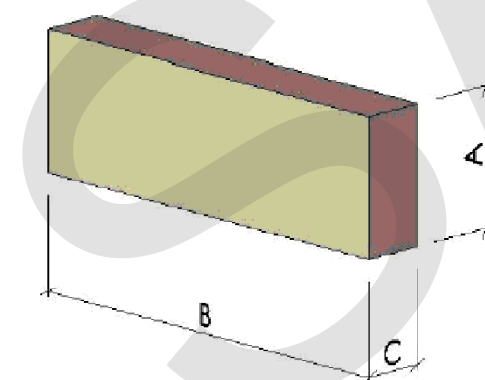


TSZ Silver Metallic
4-TSZ-80
LRV 32.00

MELTON CLASSICS INCORPORATED
P.O. BOX 465020
LAWRENCEVILLE, GA 30042
TELEPHONE: 800-963-3060
FAX: 1-770-962-6988
EMAIL: INFO@MELTONCLASSICS.COM

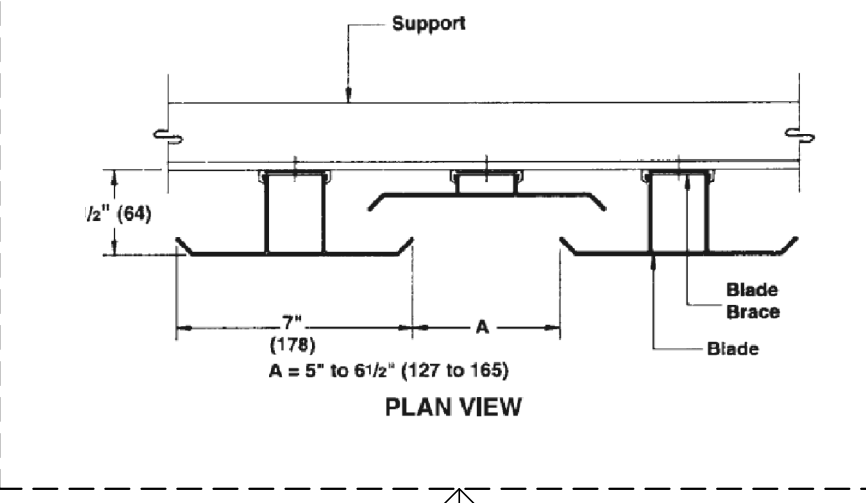


PIECE MARK	A	B	C
300-05	3.5"8"	23.5"8"	3.5"8"
300-10	7.5"8"	23.5"8"	3.5"8"
300-15	11.5"8"	23.5"8"	3.5"8"
300-20	15.5"8"	23.5"8"	3.5"8"



Manufactured for Web Reps, LLC
At the Ruskin/Reliable Factory in Geneva Alabama
800-810-3280 x 101

250T VERTICAL SCREEN
EXTRUDED ALUMINUM
SIGHTPROOF



LOUVER

1 BRICK

2 HARDIE

3 PANEL 1

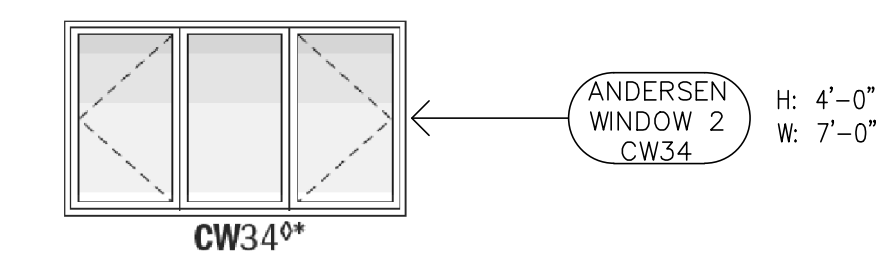
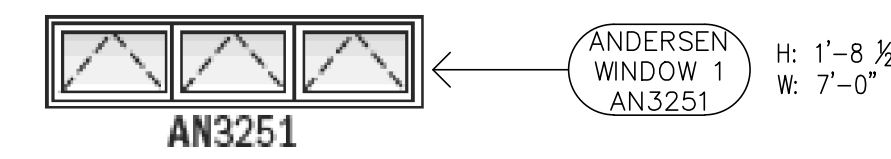
4 STONE VENEER

5 METAL LOUVER PANELS AT GARAGE

TUBELITE
3056 WALKER RIDGE DRIVE, NW
GRAND RAPIDS, MICHIGAN 49544
PH: 800-866-2227
FX: 616-784-2619
DEPENDABLE@TUBELITEINC.COM
WWW.TUBELITEINC.COM

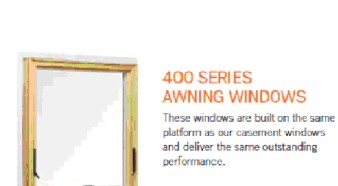


ANODIZED FINISHES



400 SERIES CASEMENT WINDOWS
The Andersen 400 Series casement window is a full-line window available in 12 standard colors. Each window is made and set to the highest quality standards. The Andersen 400 Series casement window is a full-line window available in 12 standard colors. The Andersen 400 Series casement window is a full-line window available in 12 standard colors.

TRIM COLORS



400 SERIES AWNING WINDOWS
These windows are made with the same quality as our casement windows and offer the same outstanding performance.



FOUNDRY
1225 EAST 58TH ST.,
NEW YORK, NY 10022
PHONE: 1.844.544.4858
WEBSITE: WWW.FOUNDRYLIGHTING.COM



Technical Specifications		Manufacturer Warranty :	
ADA :	Yes	2 Year Finish, 5 Year Components	
Average Hours :	50000	Material :	Aluminum
Backplate Height :	14	Number Of Diodes :	4
Backplate Width :	6	Product Weight :	4.9833
Base Color :	Black, Silver	Shade :	Yes
Bulb Included :	Yes	Shade Color :	Cream
Bulb Type :	LED	Shade Material :	Glass
Color Rendering Index (CRI) :	83	Shade Shape :	Half Cylinder
Color Temperature :	3000K	Shade Type :	Etched
ETL Listed :	Yes	Style :	Modern
ETL Rating :	Wet Location	Voltage :	120
Extension :	3	Wattage :	22
Genre :	Contemporary	Width :	3
Height :	14		
LED :	Yes		
Light Direction :	Ambient Lighting		
Lumens :	285		

8 LIGHTS

SCHEDULE OF DOORS

DOOR NO.	UNITSIZES		U-FACTOR	EXTERIOR/ INTERIOR	DESCRIPTION
	WIDTH	HEIGHT			
D1	3' - 0"	6' - 8"	0.32	EXTERIOR	1 HR FIRE RATED DOOR
D2	3' - 0"	6' - 8"	0.32	EXTERIOR	GLAZED DOOR
D3	5' - 0"	6' - 8"	0.3	EXTERIOR	SOLID WOOD DOOR
D4	3' - 0"	6' - 8"	0.32	INTERIOR	1 HR FIRE RATED DOOR
D5	3' - 0"	6' - 8"	0.32	INTERIOR	SOLID WOOD DOOR
D6	2' - 8"	6' - 8"	0.32	INTERIOR	SOLID WOOD DOOR
D7	2' - 6"	6' - 8"	0.32	INTERIOR	BI-FOLD DOORS
D8	2' - 8"	6' - 8"	1.32	INTERIOR	BI-FOLD DOORS
D9	3' - 6"	6' - 8"	2.32	INTERIOR	BI-FOLD DOORS
D10	4' - 0"	6' - 8"	3.32	INTERIOR	LOUVERED BI-FOLD DOORS
D11	4' - 0"	6' - 8"	3.32	INTERIOR	BI-FOLD DOORS

9 SCHEDULE OF DOORS

RA
Design & Consultants LLP
35 Journal Square
Suite 402
Jersey City, New Jersey 07306
t. (201) 680-7132
www.radellp.com

Raul Cabato, Architect
email: raul@radellp.com

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New Jersey License No. 21A101463700
New York License No. 025075

SEE PAGE A-102
FOR THE ELEVATIONS

NO. DATE COMMENT

APPROVAL STAMPS AND SIGNATURES

DRAWING TITLE BSCAN STICKER

MATERIAL CUT SHEET

PROJECT NAME AND ADDRESS:
276 DUNCAN AVE.
JERSEY CITY, NEW JERSEY
BLOCK: 14602, LOT: 23,24,25,26

PROJECT DESCRIPTION
CONSTRUCTION OF NEW
MULTI-FAMILY BUILDING
(4 STORY & 12 APARTMENTS)

OWNER'S NAME AND ADDRESS

SEAL	DRAWN BY	SCALE
	VM	AS NOTED
	CHECKED BY	DATE
	RC	OCTOBER 11, 2018
	FILE	BUILDING PLAN ID NUMBER
		A-103
	PAGE NO.	

6 STOREFRONT

7 WINDOWS

1 REQUIREMENTS FOR FIRE AND DOMESTIC WATER LINE AND METER INSTALLATIONS

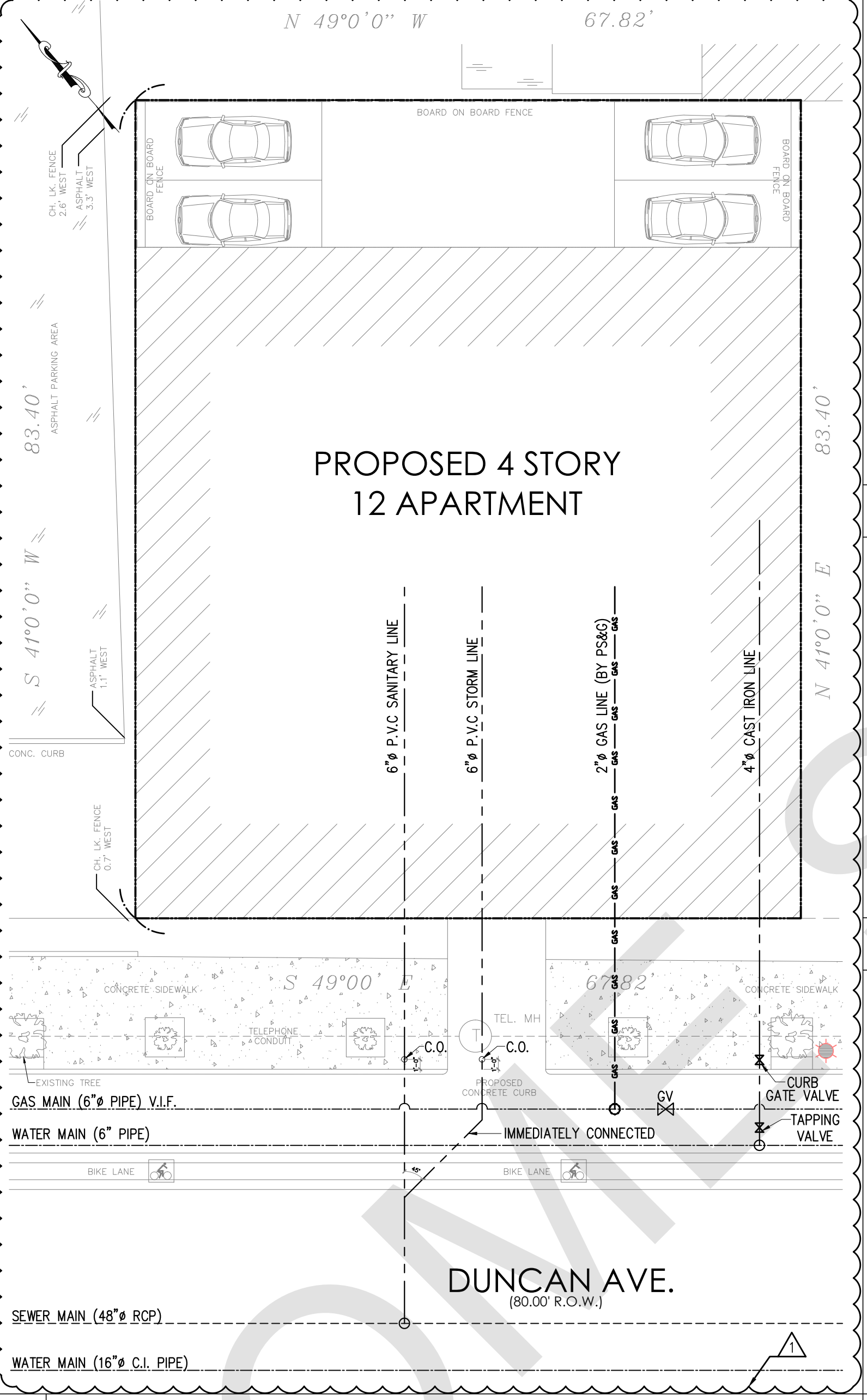
- ALL FIRE SERVICE APPLICATIONS AND ALL DOMESTIC SERVICE APPLICATIONS TWO (2) INCHES AND LARGER MUST BE SUBMITTED TO THE JCMUA'S BUREAU OF WATER ENGINEERING FOR APPROVAL. ALL PLANS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT LICENSED TO PRACTICE IN NEW JERSEY.

2 WATER DISTRIBUTION SYSTEM STANDARDS

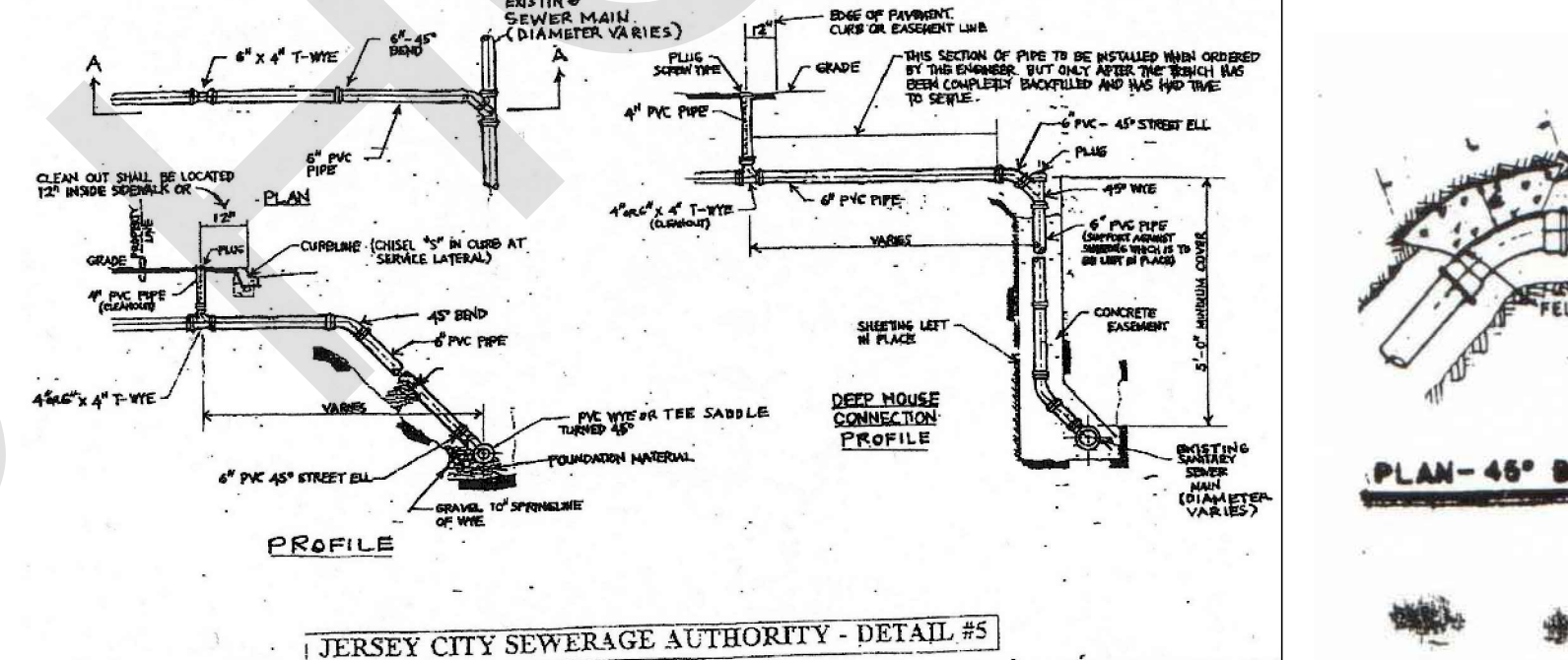
- WATER MAINS SHALL BE PSI 350, CLASS 52 CEMENT LINED, DUCTILE IRON PIPE WITH MECHANICAL JOINTS AND SHALL BE IN CONFORMANCE WITH A.M.S.I. STANDARD A21.5-1976 (A.W.W.A. C151-76)

3 STANDARD REQUIREMENTS FOR NEW SANITARY, STORM SEWERS AND SERVICE LATERALS

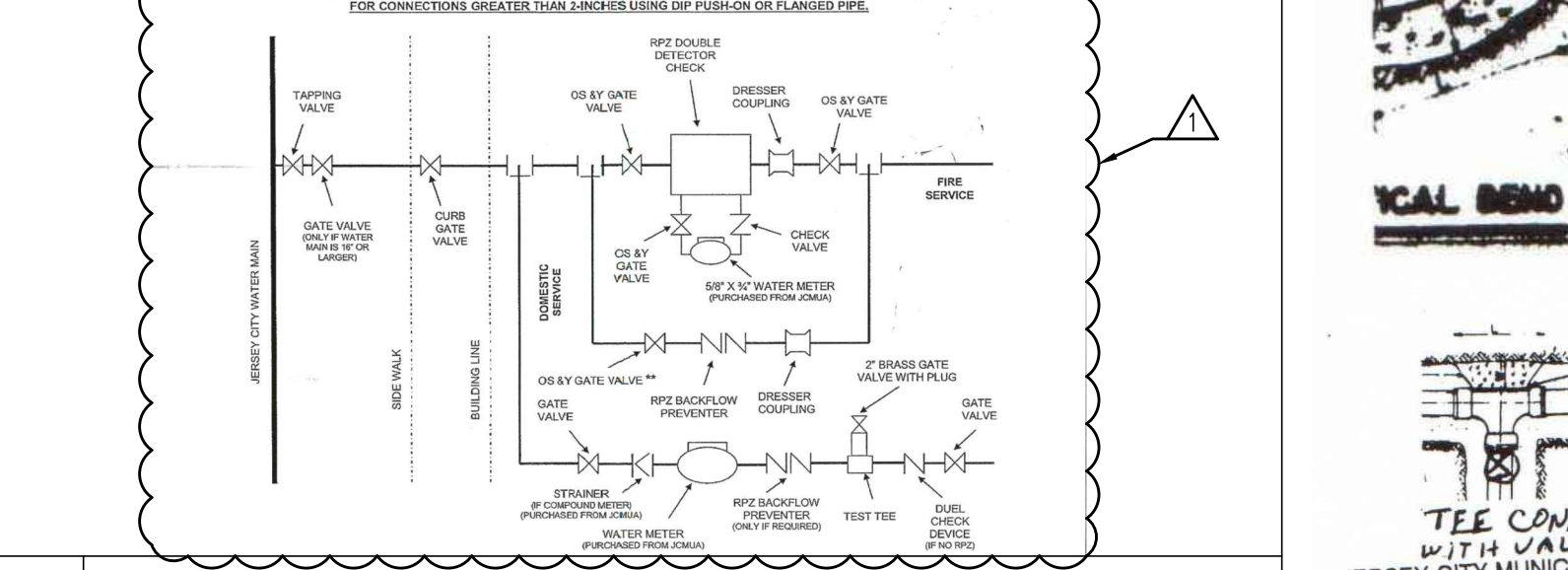
- BEDDING AND BACKFILL MATERIAL SHALL COMPLY WITH THE REQUIREMENTS OF THE NJDOT'S STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND THE DESIGN AND CONSTRUCTION OF URBAN STORM WATER MANAGEMENT SYSTEM, ASCE MANUALS AND REPORTS OF ENGINEERING PRACTICE NO. 77, 1993, AS APPLICABLE.



4 SITE PLAN SCALE: 1/32" = 1'-0"

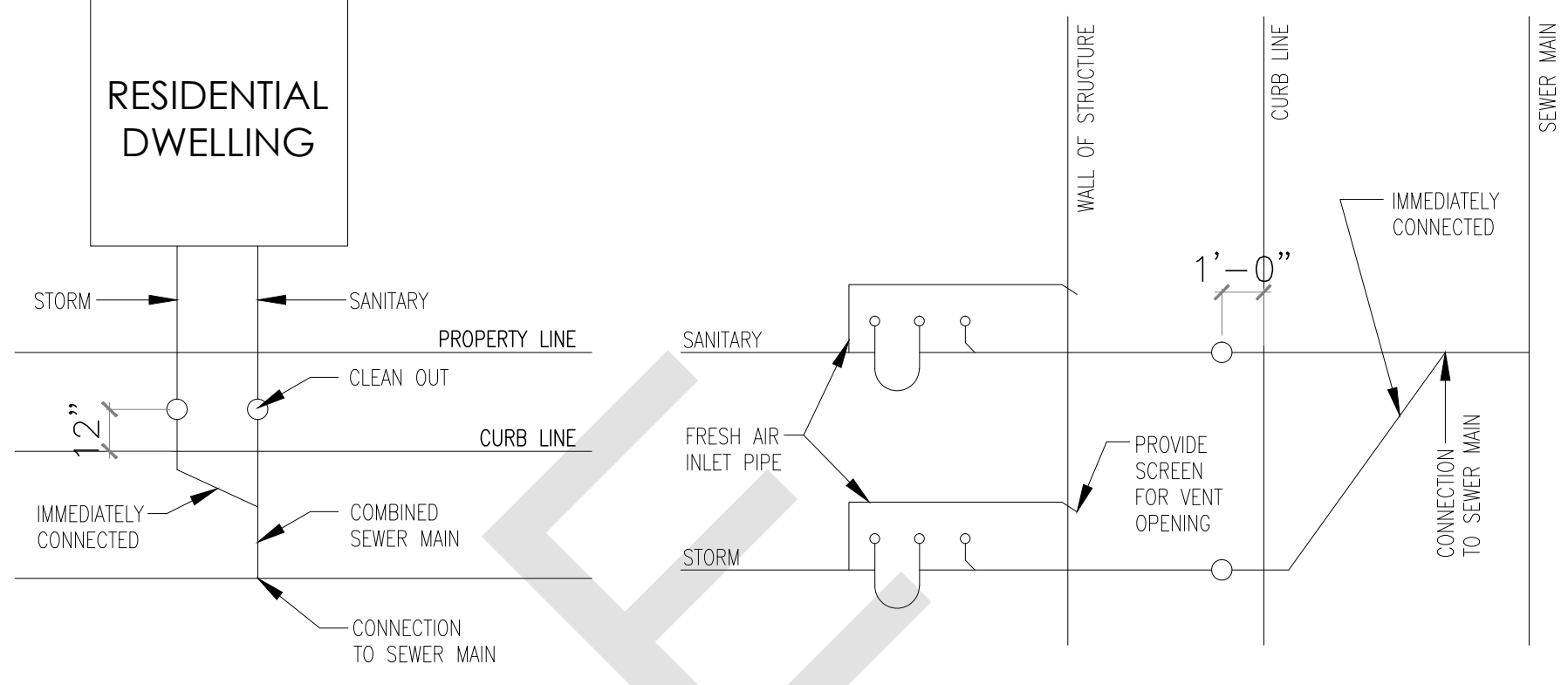


5 JERSEY CITY SEWAGE AUTHORITY DETAIL #5

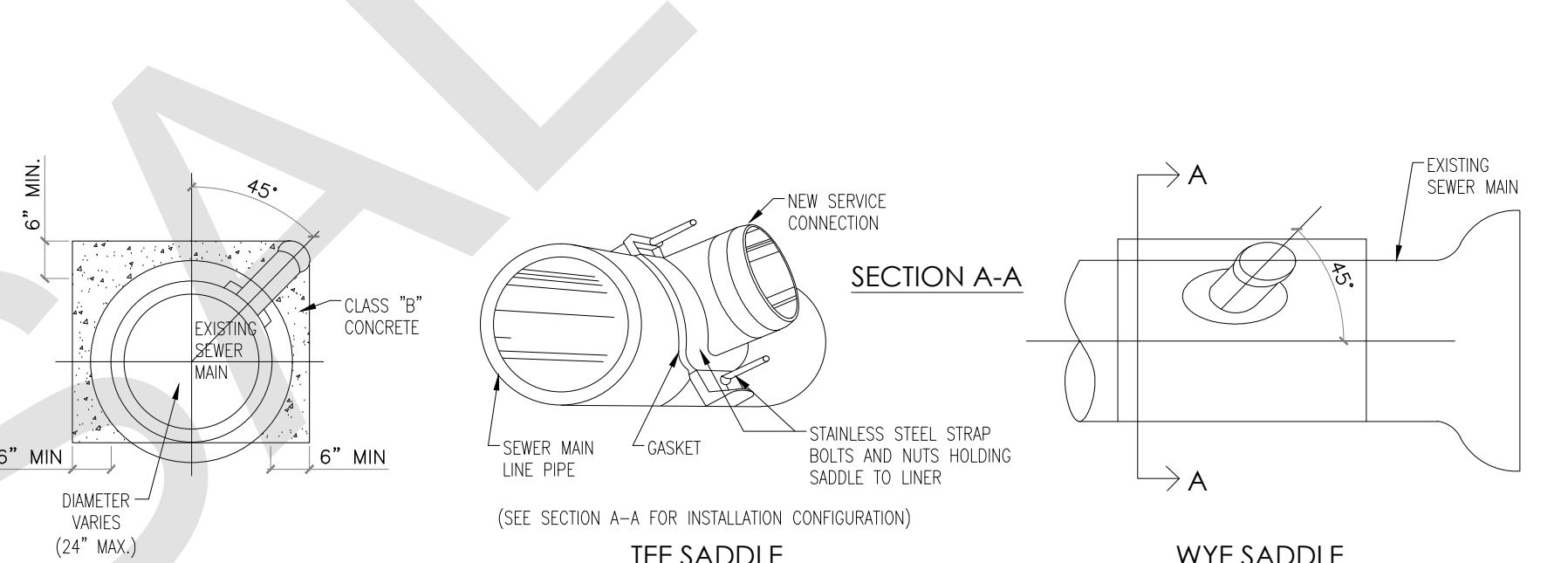


6 FIRE AND DOMESTIC WATER LINES & METER INSTALLATIONS SCALES

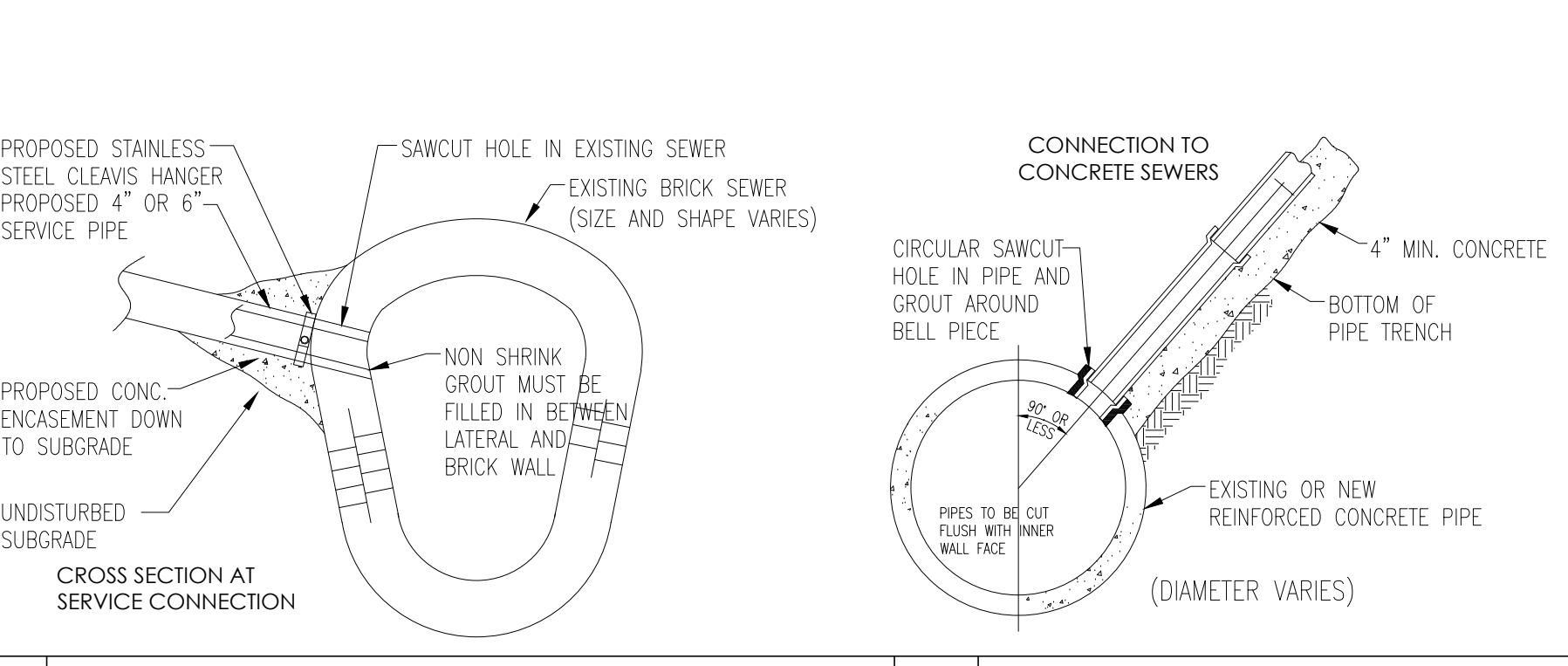
7 SEWER CONNECTION DETAILS FOR RESIDENTIAL DWELLING SCALE: NTS



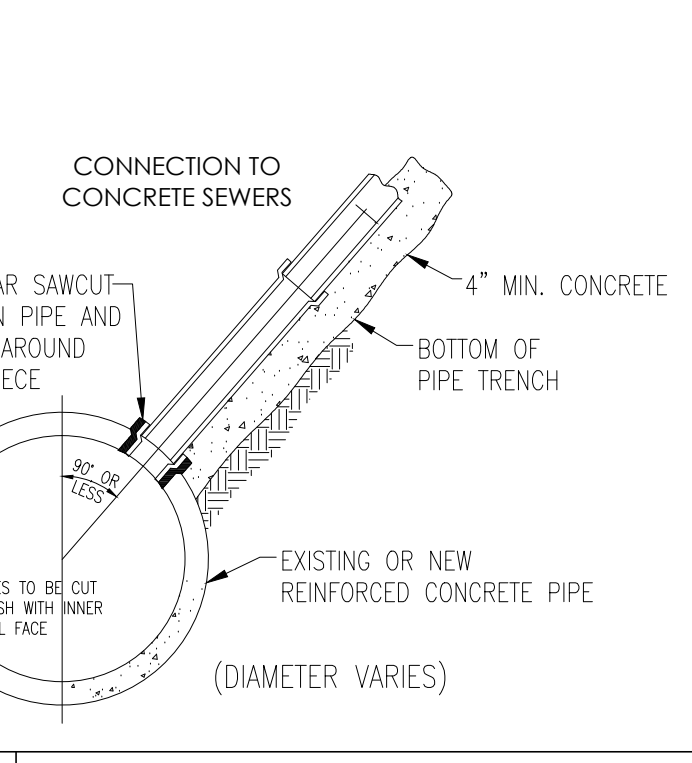
8 JERSEY CITY SEWERAGE AUTHORITY DETAIL #1 SCALE: NTS



9 JERSEY CITY SEWERAGE AUTHORITY DETAIL #2 SCALE: NTS



10 JERSEY CITY SEWERAGE AUTHORITY DETAIL #4 SCALE: NTS



Design & Consultants LLP logo and address: 35 Journal Square, Suite 402, Jersey City, New Jersey 07306.

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Revision table with columns for date, revision, and comment. Includes revisions dated FEB. 12, 2019 and JAN. 24, 2019.

APPROVAL STAMPS AND SIGNATURES section with drawing title MUA and project name 276 DUNCAN AVE. JERSEY CITY, NEW JERSEY.

PROJECT DESCRIPTION: CONSTRUCTION OF NEW MULTI-FAMILY BUILDING (4 STORY & 12 APARTMENTS)

OWNER'S NAME AND ADDRESS section.

Table with columns for SEAL, DRAWN BY, CHECKED BY, FILE, and PAGE NO. Includes signatures and names like VM, RC, and MUA-100.00.

GENERAL NOTES

- ALL DRYER VENTS SHALL BE CONNECTED TO THE OUTSIDE.
- AIR-CONDITIONER CONDENSER PADS MUST BE CONCRETE (PRE-CAST).
- UNDERGROUND PIPING SHALL BE INSTALLED ON FIRM BEDDING.
- NO PVC PIPE SHALL BE EXPOSED OUTSIDE OF BUILDING.
- STRUCTURAL DRAWINGS SHALL BE WORKED TOGETHER WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DWGS. TO LOCATE DERESSED SLABS, SLOPES, DRAINS, REGLES, BOLT SETTING, ETC. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- DESIGN LOADS DO NOT INCLUDE SUPERIMPOSED LOADS SUCH AS A/C UNITS AND OTHER MECHANICAL EQUIPMENT. SHOP DWGS. OF EQUIPMENT AND PROPOSED SUPPORT FRAMING SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
- THE OWNER SHALL EMPLOY (IF REQUIRED) AN APPROVED TESTING LABORATORY TO MAKE ALL TESTS FOR CONCRETE, SOIL COMPACTION AND WELDING OF STEEL TO INSURE COMPLIANCE WITH PLANS STANDARDS AND CODES.
- PROVIDE CAULKING SEALANT TO EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES; BETWEEN WALL AND FOUNDATION, BETWEEN WALL PANELS AT PENETRATIONS; OR UTILITY SERVICES THROUGH WALLS, FLOOR AND ROOF; AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE SEALED WITH AN APPROVED MANNER.
- PROVIDE 22 1/2" x 54 1/2" ATTIC ACCESS.
- AIR INFILTRATION RATE FOR WINDOWS SHALL NOT EXCEED 0.5 CFM PER FOOT OF SASH. TRACK DOORS SHALL NOT EXCEED 0.5 CFM PER SQUARE FEET OF DOOR AREA.
- FIRESTOP ALL STUD WALLS AT 8'-0" VERTICALLY.
- DRYWALL INSTALLATION SHALL BE IN CONFORMANCE WITH THE GYPSUM ASSOCIATION'S RECOMMENDED PRACTICES FOR THICKNESS, NAILING AND TAPING.
- ALL FRAMING TO BE IN CONFORMANCE WITH THE NATIONAL FOREST PRODUCTS "MANUAL FOR HOUSE FRAMING".
- CONTINUOUS BEARING FROM POINT OF LOAD TO FOUNDATION SHALL BE PROVIDED BY MEANS OF COLUMNS AND SOLID BLOCKING AT FLOORS.
- CABINET SUPPLIER TO FIELD MEASURE AREA OF WORK AFTER ROUGH FRAMING, TO ASSURE AN EXACT FIT. THE CABINETS SHALL MATCH PLANS UNLESS OTHERWISE SPECIFIED BY THE OWNER.
- SLOPE GRADE AWAY FROM BUILDING AT 1/2" PER 1'-0" MIN. FOR A DISTANCE OF 10'-0" MINIMUM.
- PROVIDE A SPLASHBLOCK AT EACH DOWNSPOUT UNLESS PROVIDED WITH SPECIFIED DRAIN PIPES.
- WATER RESISTANT GYPSUM OR CEMENTITIOUS BACKER SHALL BE USED WITH SHOWER COMPARTMENTS.
- THERMOSTATS USED FOR HEATING AND COOLING SHALL BE CAPABLE OF BEING SET FROM 55 DEGREES F TO 85 DEGREES F AND SHALL BE CAPABLE OF OPERATING THE SYSTEM'S HEATING AND COOLING SEQUENCE.
- PROVIDE ONE LINE OF BRIDGING FOR EACH 8'-0" OF SPAN FOR FLOOR JOISTS. IT SHALL NOT BE LESS THAN 1" x 3" LUMBER, DBL. NAILED AT EACH END OR OF EQUIVALENT METAL BRACING OF EQUAL RIGIDITY.
- CONTRACTOR MUST REFER AND COMPLY WITH TRUS JOIST MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS, SPECIFICALLY REGARDING WEB STIFFENER, NAILING, MIN. BEARING LENGTH, FILLER AND BLOCK SIZE REQUIREMENTS.

- DESIGN LOADS:
 - FLOORS: 40 PSF LIVE LOAD 15 PSF DEAD LOAD
 - ATTICS: 20 PSF LIVE LOAD 10 PSF DEAD LOAD
 - ROOF: 30 PSF LIVE LOAD 15 PSF DEAD LOAD

- PROVIDE ICE SHEILD OF BARRIER ALONG PERIMETER OF ROOF CONSISTING OF 2 LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF AN APPROVED WATERPROOFING MEMBRANE WHICH SHALL EXTEND FROM THE EDGE OF THE ROOF EAVE TO A POINT TO AT LEAST 24" FROM THE EXTERIOR WALL LINE OF THE BUILDING TOWARDS THE ROOF RIDGE.

- MINIMUM DEPTH OF THE BOTTOM OF ALL CONC. FOOTINGS TO BE 3'-0" FROM THE NATURAL GRADE LINE.

- COMPUTATION FOR COMBUSTION AIR:
 - BTU INPUTS: BOILER - 2 x 120,000 BTU = 240,000 BTU
 - WATER HEATER - 2 x 75,000 BTU = 150,000 BTU
 - TOTAL BTU INPUT = 390,000 BTU
 - ALLOW (1) ONE SQ. INCH FOR COMBUSTION AIR PER 4000 BTU
 - 390,000 / 4,000 = 97.5 SQ. INCH = 9.87 x 9.87 OPENING
 - PROVIDE UTILITY ROOM WITH A 10" SQ. METAL LOUVERED OPENING AT EXTERIOR WALL FOR COMBUSTION AIR. OTHERWISE, PROVIDE UTILITY ROOM WITH LOUVERED DOOR WITH NET OPENING EQUAL TO 20" SQ

CONCRETE

- ALL CONCRETE SHALL TEST 3,000 PSI AT 28 DAYS. THE SLUMP JUST PRIOR TO PLACING SHALL BE 4 INCHES WITHIN A TOLERANCE OF PLUS OR MINUS ONE INCH (MAX).
- ALL CONCRETE SHALL BE PLACED IN THE DRY. NO CONCRETE SHALL BE PLACED LATER THAN 90 MINUTES AFTER MIXING HAS BEGUN. DEPOSIT CONCRETE IN ITS FINAL POSITION WITHOUT SEGREGATION AND REHANDLING.
- REINFORCING STEEL SHALL BE NEW BILLET HIGH STRENGTH STEEL OF U.S.A. MANUFACTURE CONFORMING TO LATEST A.S.T.M. A-615 GRADE 60 FABRICATED IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OF THE C.S.R.I., UNLESS OTHERWISE NOTED AND PLACING OF REINFORCING SHALL BE IN ACCORDANCE WITH A.C.I. BUILDING CODE, MANUAL OF STANDARD PRACTICE, AND 2000 IBC
- REINFORCING SHALL HAVE 3" COVER IN FOOTINGS; 2" COVER ON MAIN REINFORCEMENT IN STEM WALLS.
- REINFORCING BARS ARE CONTINUOUS UNLESS OTHERWISE NOTED. LAP MESH 12 INCHES AT SPLICES, LAP STEM WALL BARS 32 BAR DIAMETER AT SPLICES (MIN)
- AT OUTSIDE CORNERS OF CONCRETE FOOTINGS AND STEM WALLS, PROVIDE #4x4-0" CORNER BARS IN EACH FACE AT SAME SPACING AS HORIZONTAL REINFORCEMENT.
- ALL MASONRY AND/OR CONCRETE WALLS BELOW GRADE SHALL BE DIMP-PROOFED.
- PROVIDE CONTROL JOINTS IN MASONRY AND/OR CONCRETE WALLS AND CONCRETE SLABS AT REGULAR INTERVALS AS SPECIFIED BY ARCHITECT.

LEGEND AND SYMBOLS

- WINDOW NUMBER
- DETAIL NUMBER
- PARTITION/WALL TYPE
- DOOR NUMBER
- SECTION NUMBER SHEET NUMBER
- ELEVATION NUMBER SHEET NUMBER
- INTERIOR ELEVATION NUMBER SHEET NUMBER
- FINISH TYPE
- FLOOR LEVEL ELEVATION
- REVISION NUMBER
- NEW PLUMBING FIXTURE ON NEW DRAIN
- NEW WALL
- MECHANICAL VENTILATION
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- COMBINATION CARBON MONOXIDE DETECTOR AND SMOKE DETECTOR

CONCRETE FOOTINGS

EXCEPT WHEN DETERMINED BY FIELD LOADING TESTS OR AS OTHERWISE PROVIDED HEREIN, THE MAXIMUM ALLOWABLE PRESSURE ON SUPPORTING SOLID UNDER SPREAD FOOTINGS AT OR NEAR THE SURFACE SHALL NOT EXCEED THE VALUES SPECIFIED IN IBC. PRESUMPTIVE BEARING VALUES SHALL APPLY TO ALL MATERIALS OF SIMILAR PHYSICAL CHARACTERISTICS AND DISPOSITION.

CONCRETE IN FOOTINGS SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH OF NOT LESS THAN THREE THOUSAND (3000) LBS PER SQUARE INCH (PSI) AT TWENTY EIGHT (28) DAYS. CONCRETE FOOTINGS SHALL NOT BE POURED THROUGH WATER. CONCRETE FOOTINGS SHALL BE PROTECTED FROM FREEZING DURING DEPOSITION AND FOR A PERIOD OF NOT LESS THAN FIVE (5) DAYS THEREAFTER.

MASONRY WALLS

FROST PROTECTION: ALL MASONRY SHALL BE PROTECTED AGAINST FREEZING NOT LESS THAN FORTY-EIGHT (48) HOURS AFTER INSTALLATION, AND SHALL NOT BE CONSTRUCTED BELOW TWENTY-EIGHT (28) °F ON FALLING TEMPERATURES, WITHOUT TEMPORARY HEATED ENCLOSURES OR WITHOUT HEATING MATERIALS OR OTHER PRECAUTIONS NECESSARY TO PREVENT FREEZING. FROZEN MATERIALS SHALL NOT BE USED, NOR SHALL FROZEN MASONRY BE BUILT UPON.

BONDING: MASONRY WALLS AND PARTITION SHALL BE SECURELY ANCHORED OR BONDED AT POINTS WHERE THEY INTERSECT BY ONE (1) OF THE FOLLOWING METHODS: WALL MAY BE BONDED BY LAYING AT LEAST FIFTY (50) PERCENT OF THE UNITS AT THE INTERSECTION IN TRUE MASONRY BOND WITH ALTERNATE UNITS HAVING A BEARING OF NOT LESS THAN EIGHT (8) INCHES UPON THE UNIT BELOW, OR THEY MAY BE ANCHORED WITH NOT LESS THAN THREE-SIXTEENTHS (3/16) INCH CORROSION-RESISTANT METAL WIRE TIES OF JOINT REINFORCEMENT AT VERTICAL INTERVALS NOT TO EXCEED TWO (2) FEET, OR BY OTHER EQUIVALENT APPROVED ANCHORAGE.

BEARING: BEAM, GIRDER AND OTHER CONCENTRATED LOADS SHALL BE PROVIDED WITH A BEARING OF SOLID MASONRY OR HOLLOW UNIT MASONRY FILLED SOLID WITH MINIMUM 2500 PSI COMPRESSIVE STRENGTH CONCRETE FULL HEIGHT OF WALL OR PIER.

FOUNDATIONS

- FOOTINGS ARE DESIGNED TO BEAR ON SOIL HAVING A MINIMUM SAFE BEARING VALUE OF 3500 PSF. FORM SIDES OF FOOTINGS WITH WOOD WHERE REQUIRED.
- BOTTOMS OF ALL FOOTINGS ARE 3'-0" BELOW EXISTING GRADE UNLESS OTHERWISE NOTED. FOOTING REINFORCEMENT TO RUN CONTINUOUS THROUGH COLUMN FOOTING. USE STEP FOOTING AT SLOPE OF 1 VERTICAL TO 2 HORIZONTAL, IF REQUIRED.

HEADER SCHEDULE

FOR HEADERS SUPPORTING INCIDENTAL LOADS:			
ROOF LOADS		SNOW LOAD	=30 PSF
		DEAD LOAD	=15 PSF
ATTIC LOADS WITH BEDROOM		LIVE LOAD	=30 PSF
		DEAD LOAD	=15 PSF
SECOND FLOOR LOADS		LIVE LOAD	=40 PSF
		DEAD LOAD	=15 PSF
EXTERIOR LOAD (MAX. 10 FT. HIGH ABOVE)		DEAD LOAD	=150 PLF

INTERIOR:

NO. OF PIECES	SIZE	MAXIMUM CLEAR SPAN	SPECIES/LUMBER
2	2" X 6"	4'-6"	DOUGLAS FIR NO. 2
2	2" X 8"	5'-10"	DOUGLAS FIR NO. 2
2	2" X 10"	7'-2"	DOUGLAS FIR NO. 2
2	2" X 12"	8'-4"	DOUGLAS FIR NO. 2

EXTERIOR:

2	2" X 6"	3'-0"	DOUGLAS FIR NO. 2
2	2" X 8"	3'-10"	DOUGLAS FIR NO. 2
2	2" X 10"	4'-9"	DOUGLAS FIR NO. 2
2	2" X 12"	5'-7"	DOUGLAS FIR NO. 2

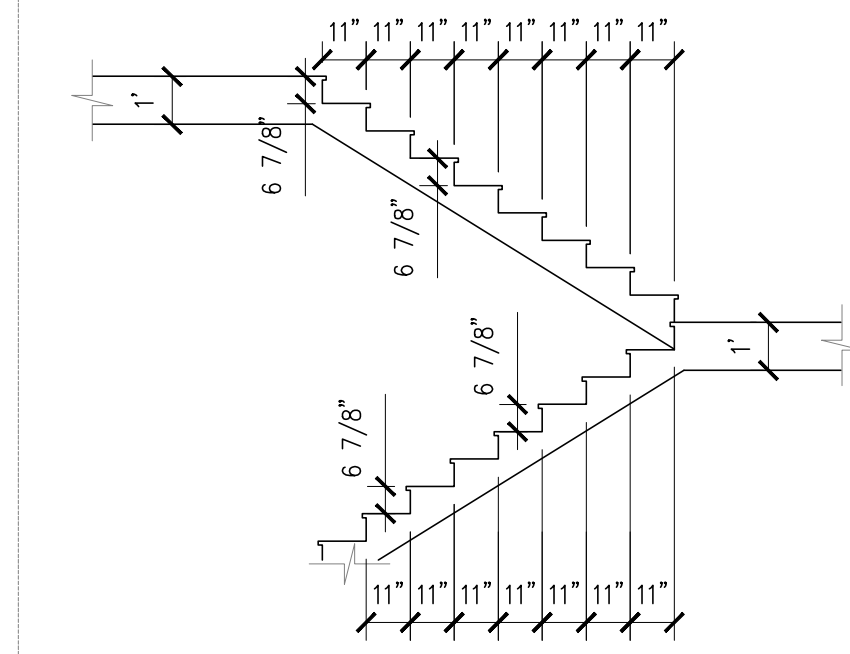
PROTECTION OF ADJOINING PROPERTIES (JERSEY CITY, NJ)

- OWNERS WHO UNDERTAKE CONSTRUCTION, REHABILITATION, OR DEMOLITION WORK AT THEIR PROPERTY SHALL PROTECT ADJOINING PROPERTIES FROM DAMAGE CAUSED BY THE WORK.
- THE OWNER INTENDING TO UNDERTAKE THE CONSTRUCTION, REHABILITATION OR DEMOLITION WORK THAT COULD POTENTIALLY DAMAGE ADJOINING PROPERTIES SHALL DELIVER WRITTEN NOTICE OF SUCH INTENT TO THE OWNERS AFFECTED PROPERTIES. THE NOTICE SHALL REQUEST WRITTEN PERMISSION TO ENTER THE ADJOINING PROPERTIES TO DETERMINE THE MEASURES THAT MUST BE TAKEN TO SAFEGUARD THE PROPERTIES FROM DAMAGE.
 - WRITTEN CONSENT FROM THE OWNERS OF THE ADJOINING PROPERTIES MUST BE OBTAINED PRIOR TO ENTERING THE PROPERTIES.
 - IN THOSE CASES WHERE OWNERS OF ADJOINING PROPERTIES REFUSE ACCESS, WORK SHALL NOT PROCEED UNLESS ACCESS TO THE PROPERTIES IS GRANTED BY THE COURTS.
- THE MEASURES TO BE TAKEN TO SAFEGUARD ADJOINING PROPERTIES SHALL BE SUBMITTED WITH THE PERMIT APPLICATION FOR REVIEW AND APPROVAL BY THE CONSTRUCTION OFFICIAL.
- UPON APPROVAL OF THE MEASURES TO SAFEGUARD THE ADJOINING PROPERTIES, THE OWNER INTENDING TO UNDERTAKE THE CONSTRUCTION, REHABILITATION OR DEMOLITION WORK SHALL PROVIDE A COPY OF THE MEASURES TO THE OWNERS OF THE ADJOINING PROPERTIES AND SHALL REQUEST WRITTEN PERMISSION TO IMPLEMENT THE MEASURES PRIOR TO COMMENCEMENT OF WORK.
- WRITTEN CONSENT FROM THE OWNERS OF THE ADJOINING PROPERTIES TO IMPLEMENT THE MEASURES TO SAFEGUARD THE PROPERTIES MUST BE OBTAINED.

EXCAVATION NOTES (JERSEY CITY, NJ)

- PRIOR TO THE ISSUANCE OF PERMITS, A LICENSED STRUCTURAL ENGINEER SHALL BE RETAINED BY THE BUILDER/DEVELOPER FOR OVERSIGHT OF THE EXCAVATION PROCESS OF A BUILDING'S FOOTINGS AND FOUNDATION.
- THE DEVELOPER/BUILDER SHALL PROVIDE DOCUMENTATION TO THE OFFICE OF THE BUILDING OFFICIAL THAT A LICENSED STRUCTURAL ENGINEER HAS BEEN RETAINED FOR ON-SITE SUPERVISION. THE DOCUMENTATION SHALL INCLUDE THE ENGINEER'S PROFESSIONAL CREDENTIALS. PRIOR TO THE START OF ANY EXCAVATION, THE OFFICE OF THE BUILDING OFFICIAL SHALL BE CONTACTED AND THE BUILDING INSPECTOR SHALL BE NOTIFIED OF THE CONDITIONS AT THE SITE BY THE LICENSED ENGINEER.
- DEVELOPER/BUILDER SHALL EXCAVATE TEST PIT(S) IN A LOCATION DETERMINED BY THE STRUCTURAL ENGINEER SO AS NOT TO COMPROMISE ANY ADJACENT BUILDING(S), WHEN THE TEST PIT HAS BEEN EXCAVATED AND INSPECTED BY THE ENGINEER AND THE BUILDING OFFICIAL, THE ENGINEER SHALL PROVIDE A SIGNED AND SEALED WRITTEN REPORT TO THE BUILDING DEPARTMENT SPECIFYING THE METHODS THE CONTRACTOR SHALL FOLLOW DURING EXCAVATION.
- NO EXCAVATION SHALL TAKE PLACE UNLESS THE ENGINEER IS PHYSICALLY PRESENT AT THE SITE. SHOULD THE ENGINEER NOT BE PRESENT AT THE SITE, ALL EXCAVATION OPERATIONS SHALL CEASE.
- DURING THE COURSE OF EXCAVATIONS, THE BUILDING INSPECTOR SHALL MAKE PERIODIC INSPECTIONS TO ENSURE COMPLIANCE WITH ALL PROCEDURES LISTED ABOVE.

NOTE:
ARCHITECT IS NOT RESPONSIBLE
FOR THE CONTRACTOR'S WAYS
AND MEANS OF CONSTRUCTION



STAIR BULKHEAD

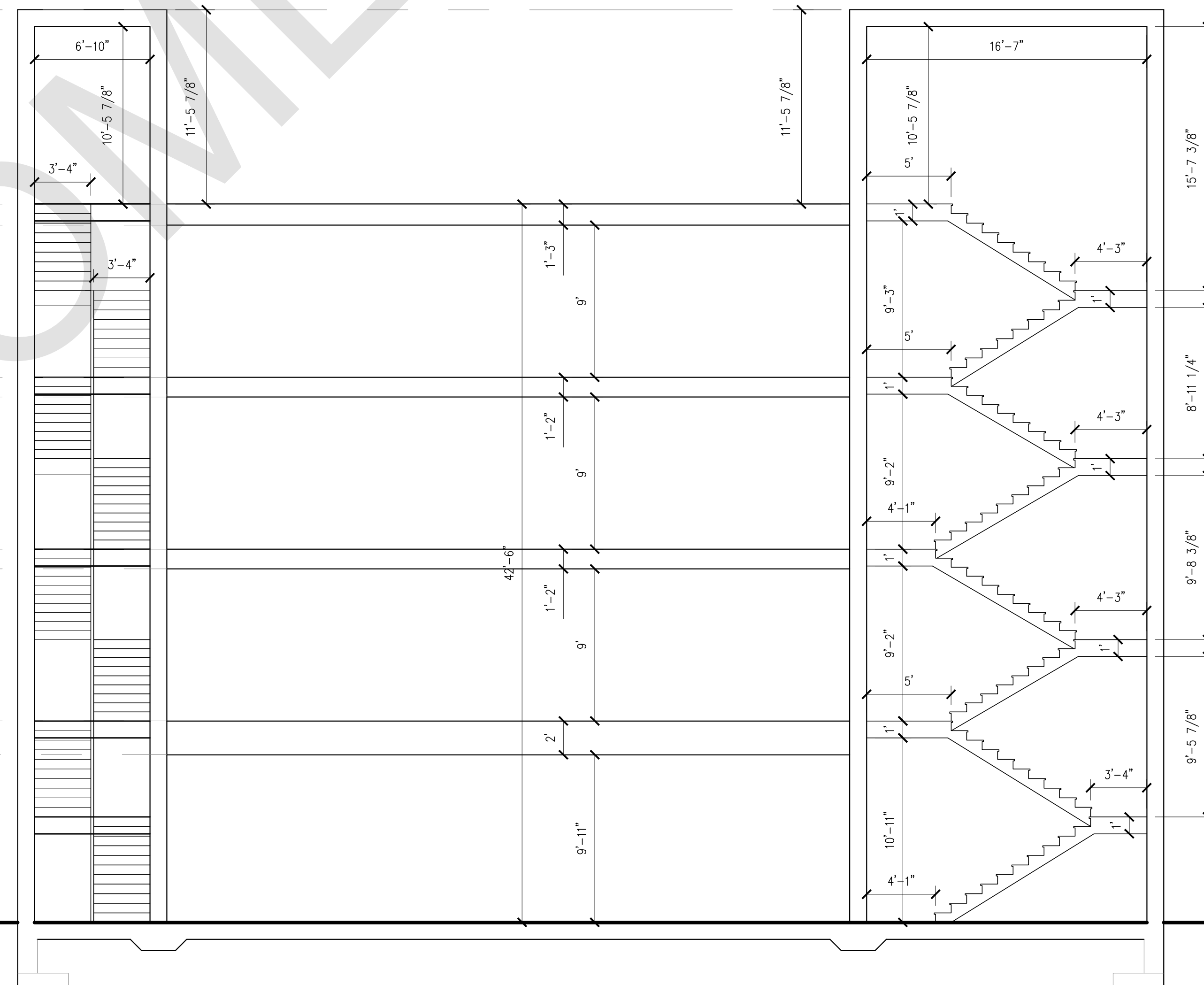
ROOF

FOURTH FLR.

THIRD FLR.

SECOND FLR.

FIRST FLR.



1 STAIR SECTION

SCALE: 3/16" = 1'-0"

Design & Consultants LLP

35 Journal Square
Suite 402
Jersey City, New Jersey 07306

t. (201) 680-7132
www.radellp.com

Raul Cabato, Architect
email: raul@radellp.com

Connecticut License No. 13854
New Jersey License No. 21A101463700
New York License No. 025075

NO.	DATE	COMMENT
1	SEPT. 26, 2020	BLDG. CONTRACTOR REVISION
2	SEPT. 18, 2020	JC BUILDING DEPT. REVISION
3	FEB. 12, 2019	JCMUA REVISION
4	JAN. 24, 2019	JCMUA REVISION

APPROVAL STAMPS AND SIGNATURES

DRAWING TITLE: BSCAN STICKER
NOTES & SECTION

PROJECT NAME AND ADDRESS:
276 DUNCAN AVE.
JERSEY CITY, NEW JERSEY
BLOCK: 14602, LOT: 23.24.25.26

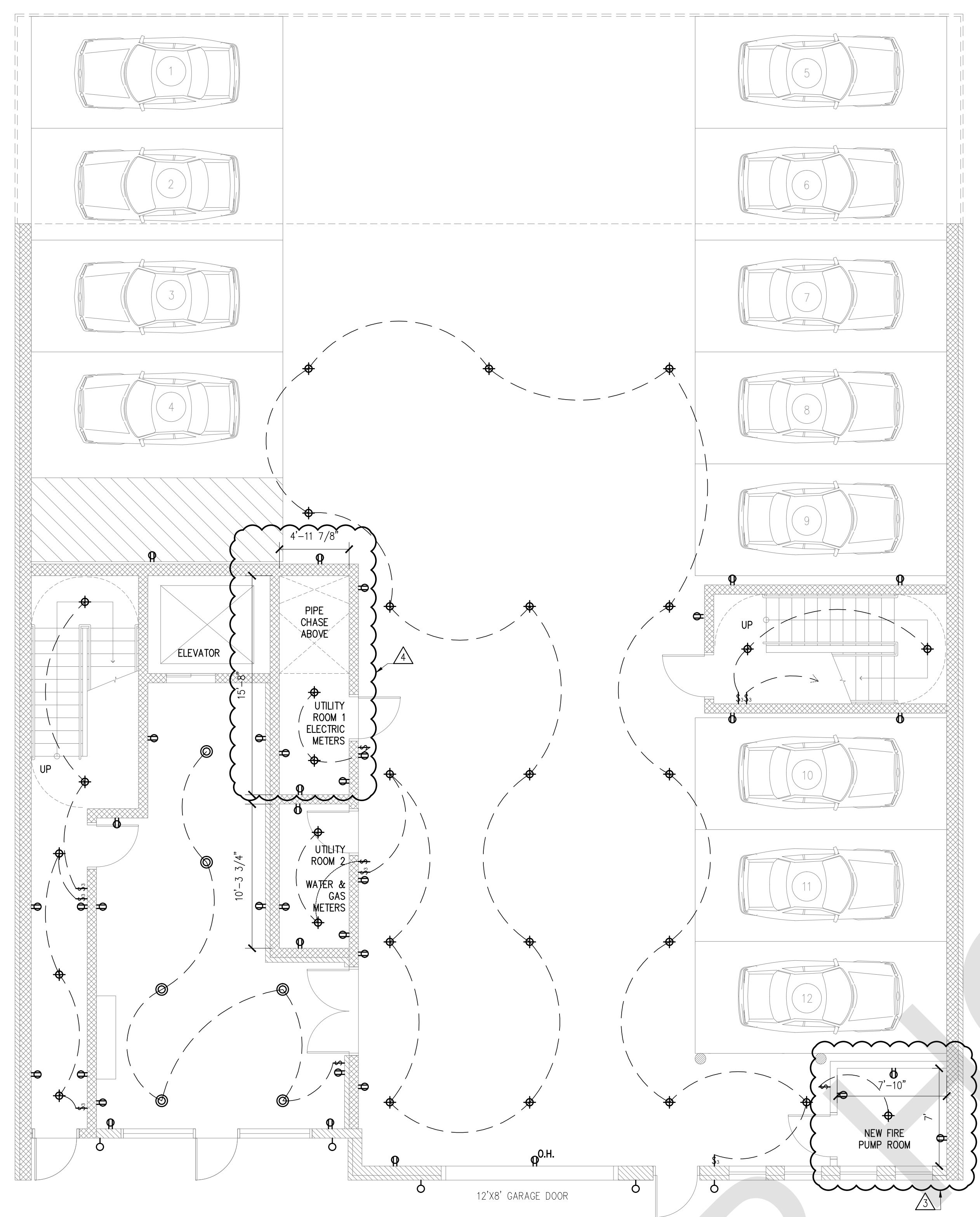
PROJECT DESCRIPTION:
CONSTRUCTION OF NEW MULTI-FAMILY BUILDING (4 STORY & 12 APARTMENTS)

OWNER'S NAME AND ADDRESS:

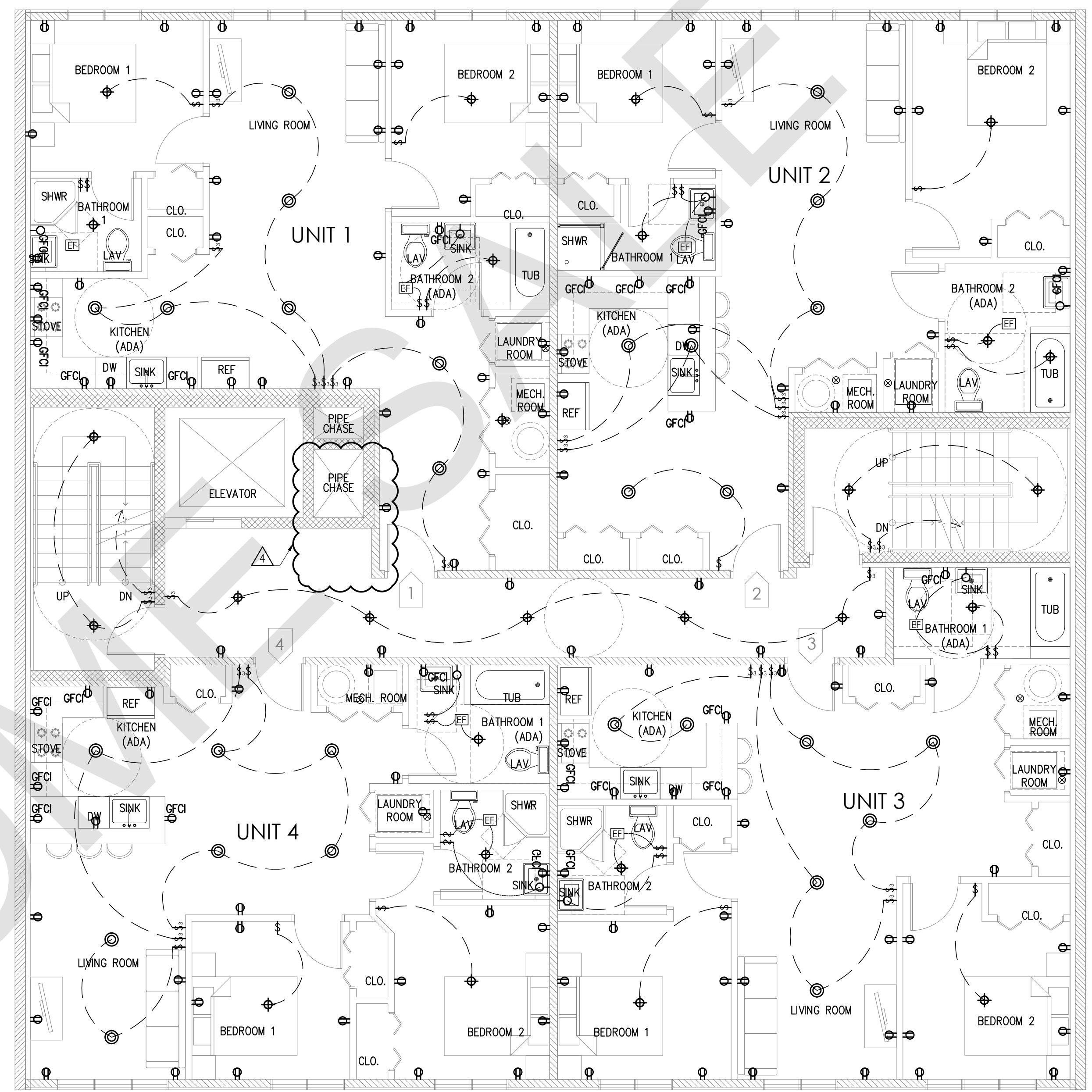
SEAL	DRAWN BY	SCALE
	WM	AS NOTED
	CHECKED BY	DATE
	RC	OCT. 25, 2018
	FILE	BUILDING PLAN ID NUMBER
		G-100.00
PAGE NO.		

Raul Cabato, Architect
 email: raul@radellp.com

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 New York License No. 025075



1 FIRST FLOOR ELECTRIC LAYOUT SCALE: 3/16"=1'-0"



2 TYPICAL 2ND TO 5TH ELECTRIC LAYOUT SCALE: 3/16"=1'-0"

ELECTRICAL NOTES

1. ALL CONVENIENCE OUTLET WITH SWITCHES TO BE SWITCHED AT TOP ONLY.
2. ALL SWITCHES TO BE 3'-10" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS OTHERWISE NOTED.
3. ALL CONVENIENCE OUTLET ARE TO BE 1'-0" ABOVE FINISHED FLOOR TO CENTERLINE OF OUTLET UNLESS OTHERWISE NOTED.
4. ALL INTERIOR WALL BRACKET FIXTURES TO BE AT 6'-6" ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE (6'-10" AT BATHROOM MIRRORS)
5. ALL EXTERIOR WALL BRACKET FIXTURES TO BE AT 6'-6" ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE.
6. SMOKE DETECTORS SHALL BE LOCATED 12" FROM CEILING AND WIRED TOGETHER TO SOUND ALARM AND BATTERY BACKUP.
7. VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER'S SPECIFICATIONS.
8. CABLE TELEVISION SERVICE SHALL BE WIRED TO EVERY TELEVISION RECEPTACLE, UNLESS OTHERWISE INSTRUCTED BY OWNER.
9. NO POINT ALONG FLOOR LINE MEASURED HORIZONTALLY SHALL BE MORE THAN 6'-0" FROM A RECEPTACLE OUTLET.
10. ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE. ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OR APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
11. ELECTRICAL CONTRACTOR SHALL, BEFORE CONSTRUCTION, VERIFY SPACE REQUIRED FOR METER INSTALLATION AND SHALL NOTIFY GENERAL CONTRACTOR AND ARCHITECT OF ANY PROBLEM.
12. GROUND FAULT INTERCEPTORS SHALL BE PROVIDED AT ALL BATHROOM AND KITCHEN OUTLETS AS PER SECTION 210-8 N.E.C.

GENERAL NOTES:

- SMOKE AND FIRE DETECTION SYSTEMS IF REQUIRED INSTALLED BY G.C. PER LOCAL CODE.
 - LABOR & MATERIAL SUPPLIED BY G.C. UNLESS OTHERWISE NOTED
 - INSTALLATION OF MATERIAL BY G.C. UNLESS OTHERWISE NOTED
 - ALL DIMENSIONS TO BE VERIFIED BY G.C. ON SITE
- 12'-0" MAX DISTANCE BETWEEN EACH ELECTRICAL OUTLET.
 ELECTRICAL GFCI OUTLET MUST BE 24" MAX FROM SINK.
 ELECTRICAL GFCI OUTLET MUST BE 48" MAX. BETWEEN EACH SPACING ON KITCHEN COUNTER
- NATIONAL ELECTRICAL CODE, 2017 OBTAINED FROM: NATIONAL FIRE PROTECTION ASSOC [617] 770-3000

LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
\$	SINGLE SWITCH	⊖	WALL-MOUNTED LIGHT FIXTURE	SD	SMOKE DETECTOR
\$3	THREE-WAY SWITCH	⊖⊖	WALL-MOUNTED LIGHT FIXTURE WITH SENSOR	CM	CARBON MONOXIDE
⊖GFCI	GROUND CIRCUITE FAULT INTERRUPTER OUTLET	⊖	RECESSED INCANDESCENT LIGHT FIXTURE	HD	HEAT DETECTOR
⊖	ELECTRICAL OUTLET	⊖	SUSPENDED INCANDESCENT LIGHT FIXTURE		
⊖WP	WEATHER PROOF OUTLET	⊖	EXHAUST FAN		
⊖OH	OVERHEAD OUTLET	⊖	CEILING FAN		

NO.	DATE	COMMENT
△	SEPT. 28, 2020	BLDG. CONTRACTOR REVISION
△	SEPT. 18, 2020	JC BUILDING DEPT. REVISION
△	FEB. 12, 2019	JCMUA REVISION
△	JAN. 24, 2019	JCMUA REVISION

APPROVAL STAMPS AND SIGNATURES

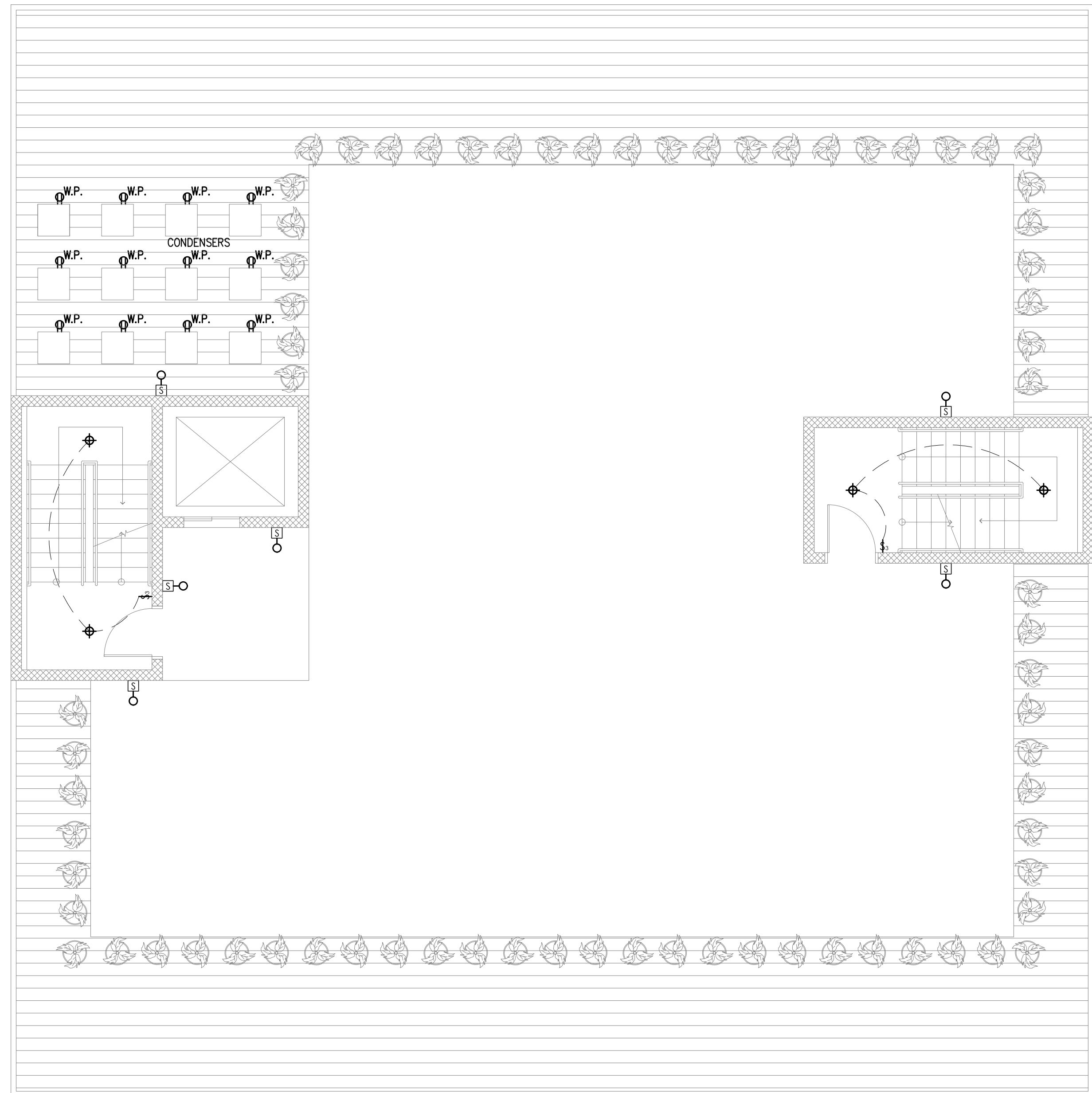
DRAWING TITLE: BSCAN STICKER
ELECTRICAL LAYOUT

PROJECT NAME AND ADDRESS:
 276 DUNCAN AVE.
 JERSEY CITY, NEW JERSEY
 BLOCK: 14602, LOT: 23,24,25,26

PROJECT DESCRIPTION:
 CONSTRUCTION OF NEW MULTI-FAMILY BUILDING (4 STORY & 12 APARTMENTS)

OWNER'S NAME AND ADDRESS:

SEAL: *Raul Cabato*
 DRAWN BY: WM
 CHECKED BY: RC
 FILE: BUILDING PLAN ID NUMBER
 PAGE NO.: E-101.00



LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
⌘	THREE-WAY SWITCH	⌘-O	WALL-MOUNTED LIGHT FIXTURE WITH SENSOR
⊕ _{WP}	WEATHER PROOF OUTLET	⊕	SUSPENDED INCANDESCENT LIGHT FIXTURE

1 ROOF FLOOR ELECTRIC LAYOUT

SCALE: 3/16"=1'-0"

RA

Design & Consultants LLP

35 Journal Square
Suite 402
Jersey City, New Jersey 07306
t. (201) 680-7132
www.radellp.com

Raul Cabato, Architect
email: raul@radellp.com

Connecticut License No. 13884
New Jersey License No. 21A101463700
New York License No. 025075

NO.	DATE	COMMENT


APPROVAL STAMPS AND SIGNATURES

DRAWING TITLE
ELECTRICAL LAYOUT & ELECTRICAL RISER DIAGRAM

PROJECT NAME AND ADDRESS
276 DUNCAN AVE.
JERSEY CITY, NEW JERSEY
BLOCK: 14602, LOT: 23,24,25,26

PROJECT DESCRIPTION
CONSTRUCTION OF NEW MULTI-FAMILY BUILDING (4 STORY & 12 APARTMENTS)

OWNER'S NAME AND ADDRESS

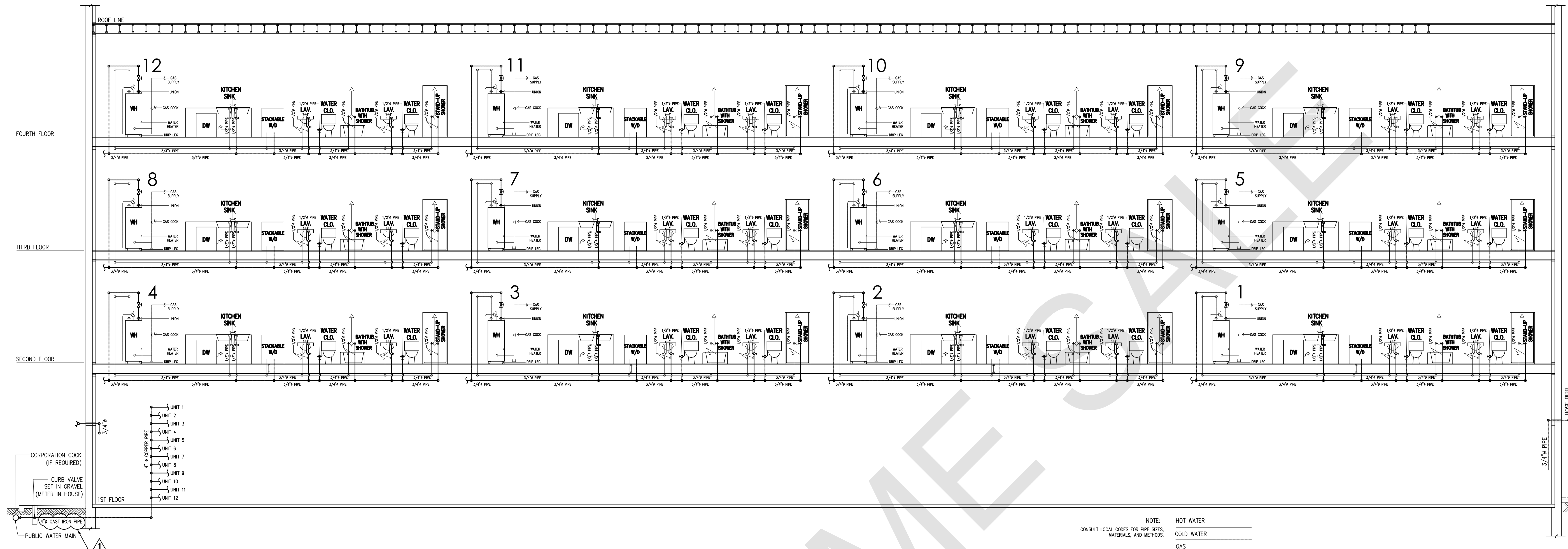
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RA Design & Consultants LLP

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Suite 402
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Raul Cabato, Architect
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1 HOT AND COLD WATER SCHEMATIC DIAGRAM

SCALE: NTS

PLUMBING NOTES :

- ALL PLUMBING WORK SHALL CONFORM TO THE STANDARDS NEW JERSEY STATE BLDG. CODE AND NEW JERSEY STATE WATER SUPPLY, GAS AND ELECTRICITY AND ALL OTHER AGENCIES HAVING JURISDICTION.
- THE PLUMBER SHALL OBTAIN ALL PERMITS, INSPECTION ETC. RELATED TO HIS WORK UNDER THIS APPLICATION, AS REQUIRED FOR THE COMPLETION OF HIS WORK.
- ALL WORK TO BE DONE BY A PLUMBER LICENSED IN NEW JERSEY STATE.
- ALL PIPING IS TO BE CONCEALED IN WALLS, SOFFITS, OR HUNG CLG'S AND SHALL NOT BE EXPOSED TO VIEW, UNLESS SO NOTED.
- ALL PIPING THROUGH WALLS, SLABS, ETC. SHALL HAVE STEEL SLEEVES EXTENDING 2" ABOVE FLOOR. THE SPACE BETWEEN THE PIPES AND THE SLEEVES SHALL BE PACKED TO A DEPTH OF NOT LESS THAN 1 INCH FROM EITHER SIDE WITH ROCK WOOL. AFTER ROCK WOOL HAS BEEN INSTALLED AROUND PIPES, #26 GAUGE SHEET METAL COLLAR SHALL BE SECURED AROUND THE PIPE TO INSURE TIGHTNESS.
- COLD WATER AND HOT WATER PIPING SHALL BE INSULATED WITH FIBERGLASS INSULATION WITH FACTORY APPLIED ALL-SERVICE JACKET SECURED IN PLACE WITH SELF-SEALING LAPS. FITTINGS SHALL BE INSURED WITH PREMOULDED PVC COVERS SECURED IN PLACE WITH ST. STL. TACKS.
 - A. COLD WATER 1/2"
 - B. HOT WATER AND HOT WATER RETURN 3/4"

WATER SERVICES

- ALL WATER SERVICES UNDER TWO INCHES (2") IN DIAMETER, WHETHER NEW OR REPLACEMENT, CONSIST OF TWO UNINTERRUPTED LENGTHS OF TYPE K COPPER. SUCH WATER SERVICES SHALL INCLUDE A CURB COOK AND CURB BOX ASSEMBLY. AT ITS APPROACH TO THE TAP, THE WATER SERVICE COIL SHALL INCLUDE AN EXPANSION LOOP THAT COMES AROUND THE RIGHT SIDE OF THE TAP. THE GOOSENECK OF THE TAP, THE CURB COOK AND THE FIRST FITTING IN THE INTERIOR OF THE STRUCTURE SHALL BE FLARE FITTINGS. THE FIRST CONTROL VALVE IN THE STRUCTURE SHALL BE AN IPS VALVE DIRECTLY CONNECTED TO THE FLARE ADAPTER. ALL SUCH WATER SERVICES SHALL BE SLEEVED WHERE THEY ENTER THE STRUCTURE.
- THE MINIMUM APPROVED REPAIR FOR COPPER WATER SERVICES UNDER TWO INCHES (2"), IN THE PUBLIC RIGHT OF WAY, SHALL CONSIST OF REPLACING THE WATER SERVICE FROM THE TAP TO THE CURB COOK. REPAIRS TO COPPER WATER SERVICES BETWEEN THE CURB COOK AND THE CONTROL VALVE INSIDE THE STRUCTURE SHALL FOLLOW THE NATIONAL STANDARD PLUMBING CODE. INTERRUPTING THE INTEGRITY OF COPPER WATER SERVICES UNDER THE ROADWAY WITH FLARE UNIONS SHALL NOT BE APPROVED.
- THE REPAIR OF LEAD WATER SERVICES WITH DRESSER COUPLINGS OR OTHER METHODS SHALL BE PROHIBITED. DAMAGED LEAD WATER SERVICES SHALL BE COMPLETELY REPLACED WITH TYPE K COPPER WATER SERVICES.

SEWER CONNECTIONS

- WHERE THERE IS A SEPARATION OF THE STORM AND SANITARY SEWER LEAVING THE STRUCTURE, THE SANITARY LATERAL SHALL INCLUDE A FITTING THAT RECEIVES THE DISCHARGE OF THE STORM LATERAL. THIS COMBINATION SHALL BE MADE WITHIN TWO FEET (2') OF THE CURB.
- THE CUT INTO THE CITY SEWER MAIN SHALL BE PERFORMED IN SUCH A MANNER THAT THE HOLE IN THE CITY SEWER MAIN BE NO LARGER THAN THE OUTSIDE DIAMETER OF THE PIPE THAT IS TO BE INTRODUCED.
- WHERE THE COMBINED SEWER LATERAL IS TO CONNECT TO THE CITY SEWER MAIN, A CONNECTION ASSEMBLY HALL BE REQUIRED FOR APPROVAL OF THE INSTALLATION. THE ASSEMBLY CONSISTS OF A HUBBED FIRING WITH A PIECE OF PIPING COMING OUT OF ONE SIDE OF THE FITTING WITH A DEVELOPED LENGTH NO MORE THAN ONE INCH (1") LONGER THAN THE WIDTH OF THE RISER CLAMP AND THE WALL THICKNESS OF THE CITY SEWER MAIN. THIS ASSEMBLY SHALL BE FITTED IN SUCH A MANNER THAT ONE SIDE OF THE RISER CLAMP RESTS AGAINST THE CITY SEWER MAIN AND THE OTHER SIDE AGAINST THE HUB OF THE FITTING. THE OTHER SIDE OF THE HUBBED FITTING RECEIVES THE SEWER LATERAL PIPE. ONCE THE CONNECTION ASSEMBLY HAS BEEN INSTALLED, THE AREA AROUND WHERE THE ASSEMBLY MEETS THE CITY SEWER MAIN SHALL BE CEMENTED.

40 GAL. ELECTRIC WATER HEATER

2 NOTES

NO.	DATE	COMMENT
1	JAN. 24, 2019	JCM/IA REVISION

APPROVAL STAMPS AND SIGNATURES

DRAWING TITLE	BSCAN STICKER
HOT AND COLD WATER SCHEMATIC	

PROJECT NAME AND ADDRESS
276 DUNCAN AVE.
JERSEY CITY, NEW JERSEY
BLOCK: 14602, LOT: 23,24,25,26

PROJECT DESCRIPTION
CONSTRUCTION OF NEW MULTI-FAMILY BUILDING (4 STORY & 12 APARTMENTS)

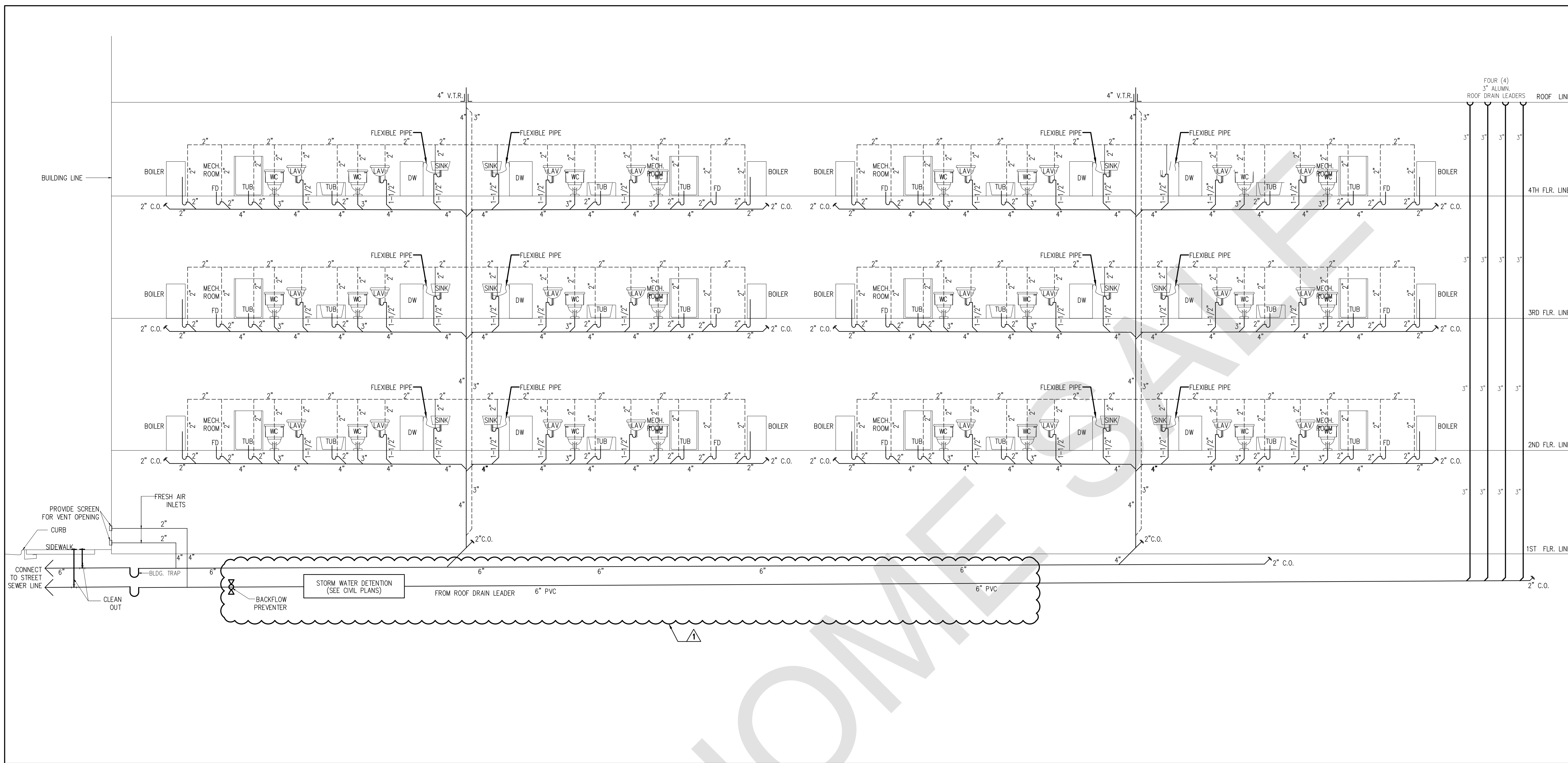
OWNER'S NAME AND ADDRESS

SEAL	DRAWN BY: VM	SCALE: AS NOTED
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SCALE: NTS

PLUMBING NOTES :

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 - COLD WATER 1/2"
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WATER SERVICES

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2 NOTES

NO.	DATE	COMMENT
1	JAN. 24, 2019	JCM/UA REVISION

APPROVAL STAMPS AND SIGNATURES

DRAWING TITLE: **PLUMBING SCHEMATIC AND NOTES**
 DRAWN BY: VM
 CHECKED BY: RC
 FILE: BUILDING PLAN ID NUMBER
 PAGE NO.: P-101.00

PROJECT NAME AND ADDRESS:
 276 DUNCAN AVE.
 JERSEY CITY, NEW JERSEY
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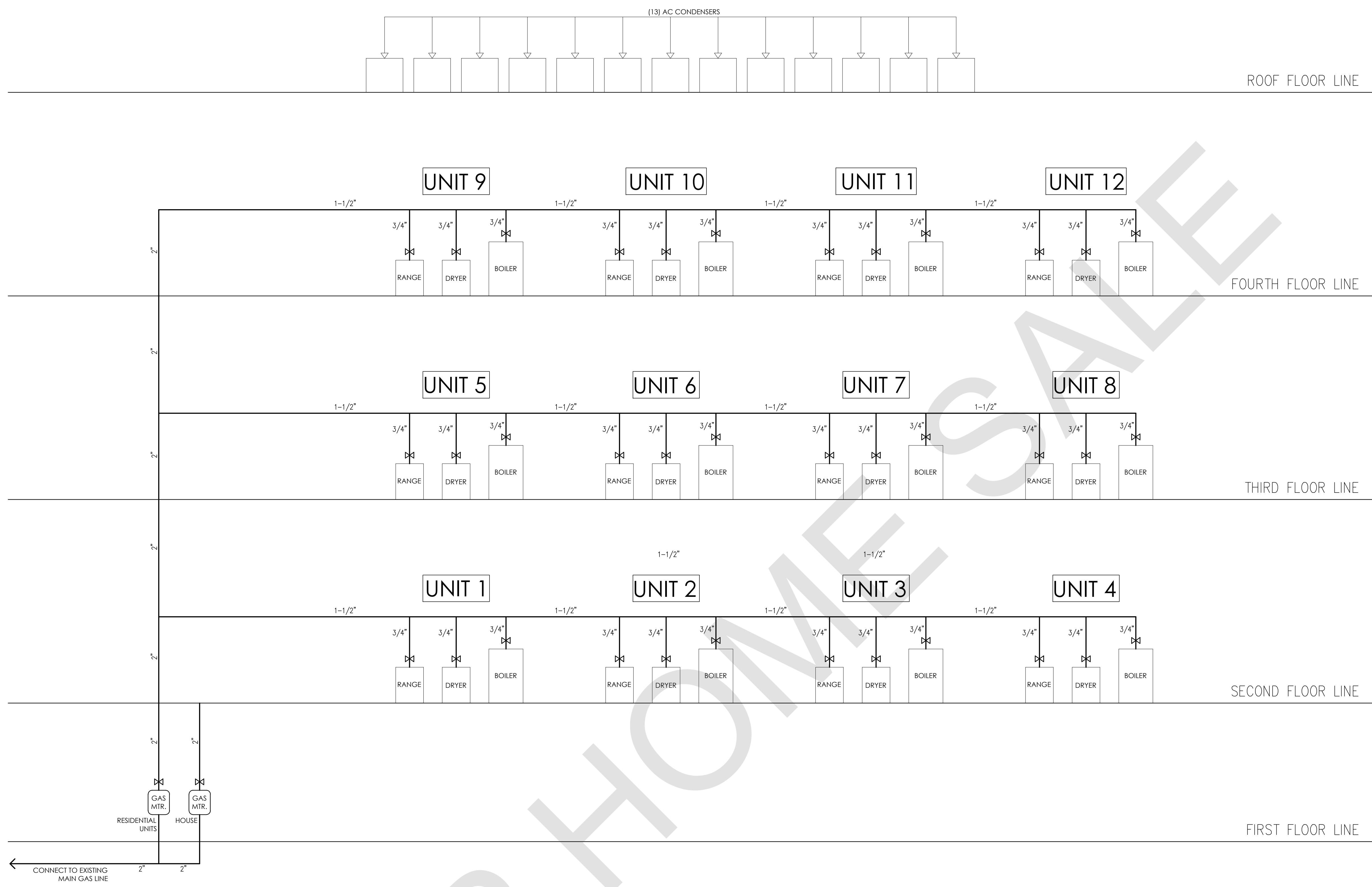
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NO.	DATE	COMMENT

APPROVAL STAMPS AND SIGNATURES

DRAWING TITLE		BSCAN STICKER
GAS RISER DIAGRAM AND NOTES		
PROJECT NAME AND ADDRESS		
276 DUNCAN AVE. JERSEY CITY, NEW JERSEY BLOCK: 14602, LOT: 23,24,25,26		
PROJECT DESCRIPTION		
CONSTRUCTION OF NEW MULTI-FAMILY BUILDING (4 STORY & 12 APARTMENTS)		
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SEAL	DRAWN BY	SCALE
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		P-102.00
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SCALE: NTS

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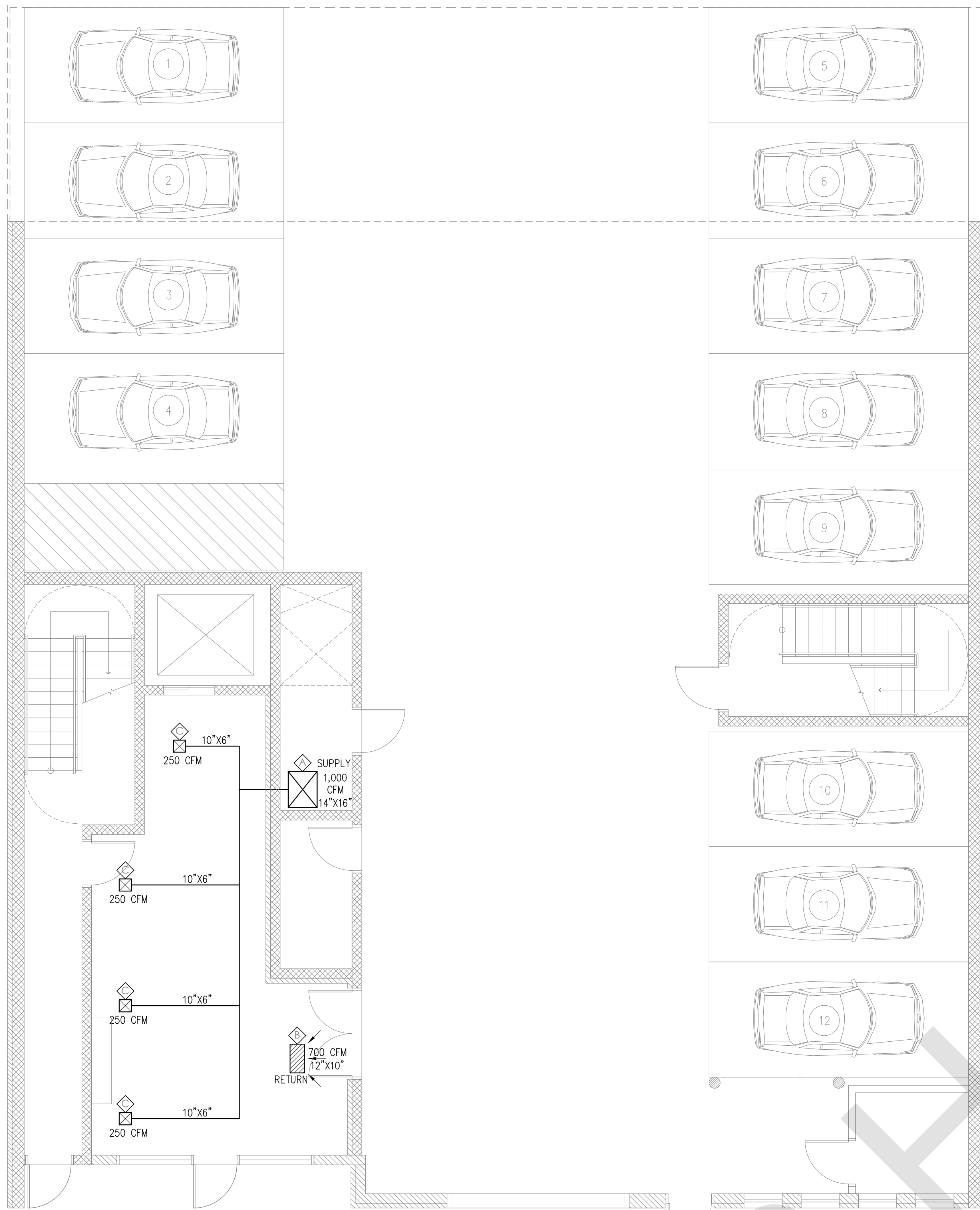
WATER SERVICES

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2 NOTES

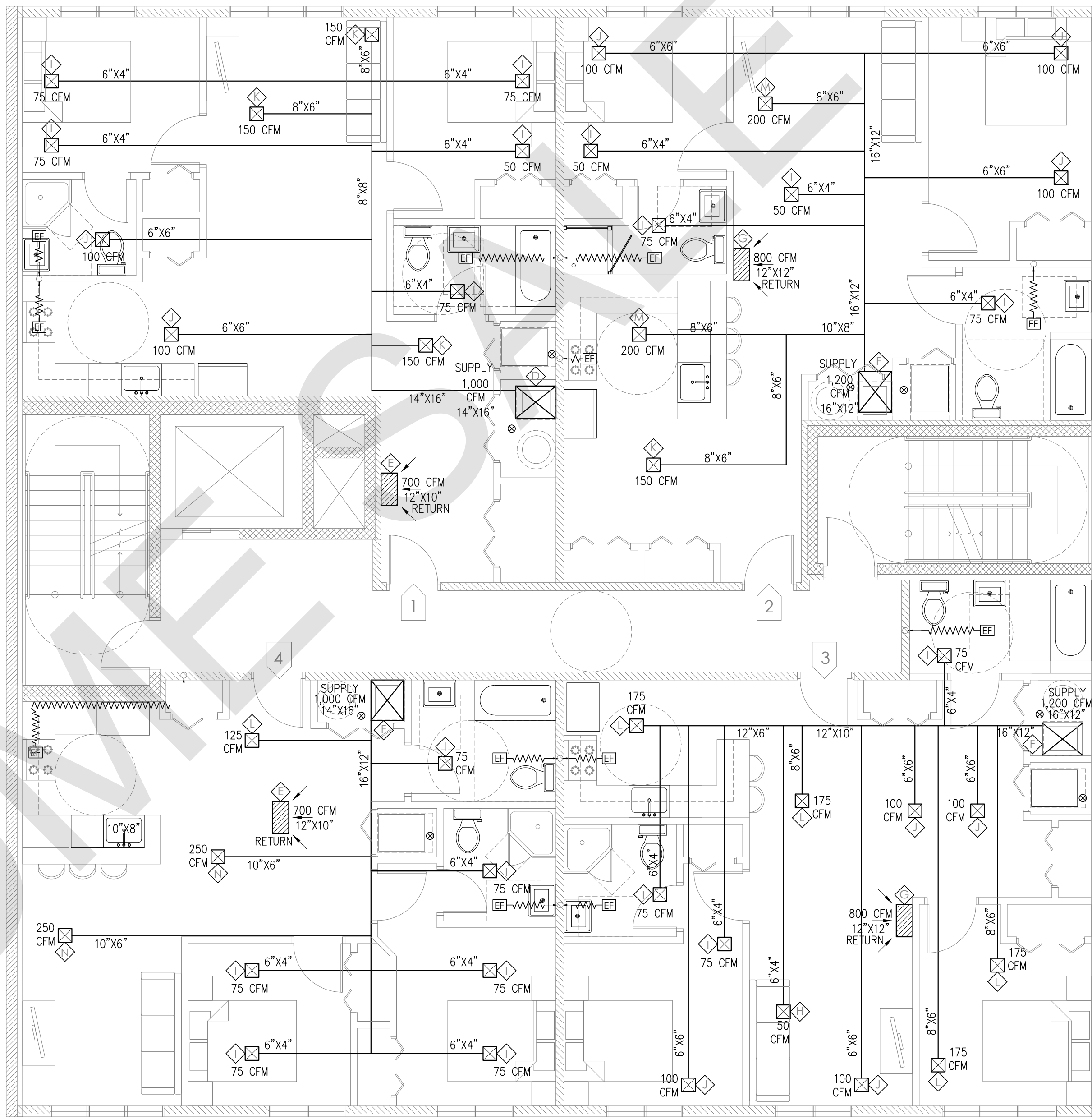


1 FIRST FLOOR HVAC LAYOUT SCALE: 3/16"=1'-0"

LEGEND

ITEM	TYPE	SIZE	LOCATION	CFM
1	SUPPLY	14" X 12"	FIRST FLR	1,000
2	RETURN	12" X 10"	FIRST FLR	700
3	SUPPLY	10" X 6"	FIRST FLR	250
4	SUPPLY	14" X 16"	SECOND FLR	1,000
5	RETURN	12" X 10"	SECOND FLR	700
6	SUPPLY	16" X 12"	SECOND FLR	1,200
7	RETURN	12" X 12"	SECOND FLR	800
8	SUPPLY	6" X 4"	SECOND FLR	50

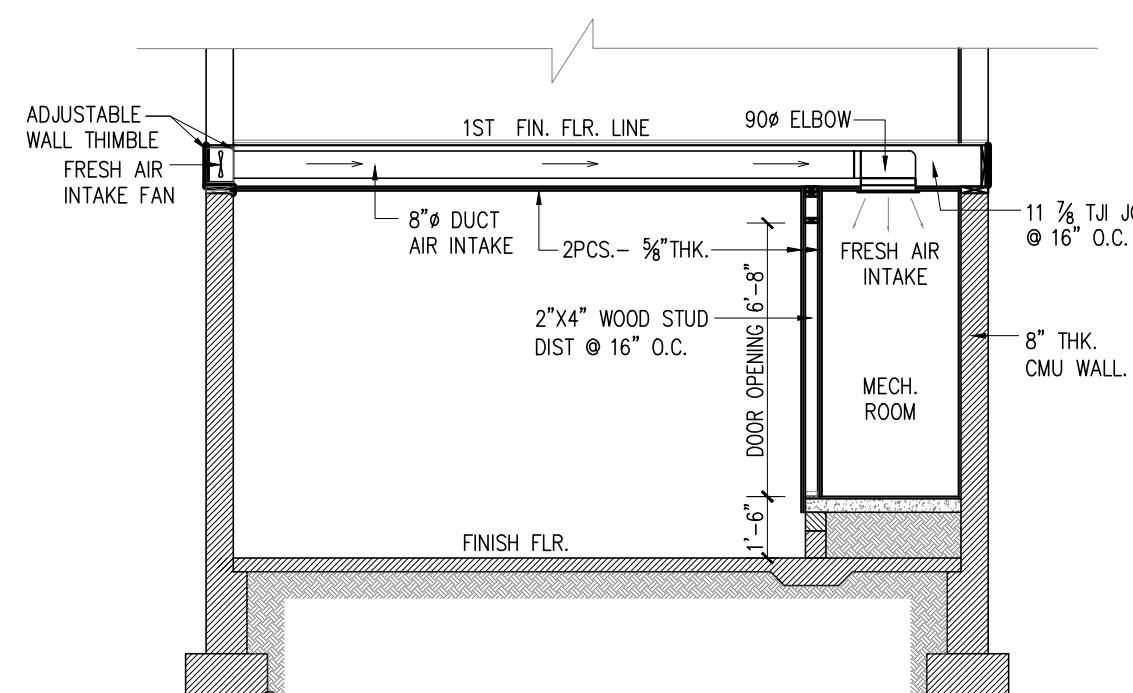
ITEM	TYPE	SIZE	LOCATION	CFM
9	SUPPLY	6" X 4"	SECOND FLR	75
10	SUPPLY	6" X 6"	SECOND FLR	100
11	SUPPLY	8" X 6"	SECOND FLR	150
12	SUPPLY	8" X 6"	SECOND FLR	175
13	SUPPLY	8" X 6"	SECOND FLR	200
14	SUPPLY	10" X 6"	SECOND FLR	250
15	EXHAUST FAN			
16	FIRE DAMPER			



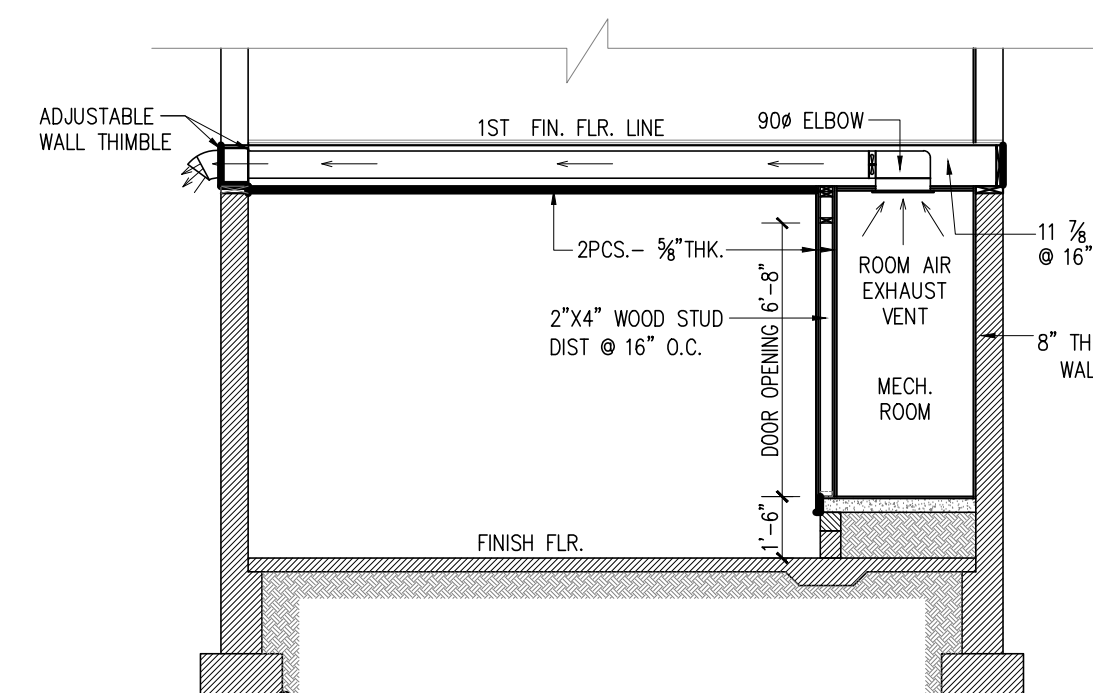
2 TYPICAL 2ND TO 5TH HVAC LAYOUT SCALE: 3/16"=1'-0"

- A. HVAC UNITS TO HAVE MANUAL OUTSIDE AIR DAMPER
- B. ALL SUPPLY, RETURN DUCTS AND OUTSIDE AIR DUCTS INSIDE BUILDING SHALL BE INSULATED EXTERNALLY WITH 1/2" THICK FIBERGLASS WITH A DENSITY OF 1.5 POUNDS PER CUBIC FOOT AND BE COMPLETE WITH VAPOR BARRIER JACKET. ALL DUCT INSULATION, TAPE COVERINGS, AND FLEXIBLE CONNECTORS SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPED RATING OF 50 OR LESS IN ACCORDANCE WITH ASTM E84.
- C. ALL FLEXIBLE DUCTS SHALL BE METAL FLEW CLASS 1 TYPE 500 AIR DUCT AND SHALL BE U.L. LISTED AND HAVE 1" THICK FIBERGLASS INSULATION ENCASED IN A VAPOR BARRIER OF SEAMLESS, NON-COMBUSTIBLE, CO-POLYMER PLASTIC.
- D. ALL FLEXIBLE DUCTS SHALL BE CONNECTED TO TRUNK OR BRANCH DUCTS WITH A MINIMUM OF THREE SHEET METAL SCREWS AT EACH CONNECTION AND BE TAPED TO PROVIDE AN AIR TIGHT SEAL. MAXIMUM LENGTH OF FLEXIBLE DUCT SHALL BE 5'-0".
- E. FLEXIBLE DUCT HANGER STRIPS SHALL BE A MINIMUM 2" WIDE BY 22 GAUGE GALVANIZED METAL.
- F. ALL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT PUBLISHED SMACNA STANDARDS FOR LOW-VELOCITY, LOW-PRESSURE DUCTS.
- G. ALL CONTROL WIRING SHALL BE FURNISHED AND INSTALLED BY HVAC CONTRACTOR.
- H. THERMOSTATS SHALL BE HONEYWELL T-7300/07300 B10008 OR EQUAL WITH SHIELDED CABLE. ALL THERMOSTATS AND LOW VOLTAGE WIRING SHALL BE FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR.
- I. ROOF MOUNTED EXHAUST AND SUPPLY FANS SHALL BE FURNISHED WITH BIRD SCREENS, DISCONNECT SWITCHES AND HINGED BASE ON EXHAUST FAN.
- J. WATER HEATER VENT SHALL BE CLASS "B". PROVIDE PROTECTION OF ADJACENT COMBUSTIBLE MATERIALS TO MEET STATE AND LOCAL CODES. HOLD WATER HEATER VENT A MINIMUM OF 10'-0" FROM OUTSIDE AIR INTAKE ON HVAC UNITS.
- K. HVAC CONTRACTOR SHALL INSTALL EXHAUST FAN AND FURNISH AND INSTALL COMPLETE EXHAUST DUCT SYSTEM. DUCTS SHALL BE INSULATED WITH MINERAL WOOL AND COVERED WITH 20 GA. STAINLESS STEEL COVER WHERE EXPOSED. EXHAUST DUCTWORK SHALL BE CONSTRUCTED OF 20 GAUGE SHEET METAL.
- L. CONTRACTOR'S EQUIPMENTS SYSTEMS TO FURNISH SUPPLY FAN AND CURB. MECHANICAL CONTRACTOR TO INSTALL SUPPLY FAN, CURB AND DUCT SYSTEM COMPLETE.
- M. PROVIDE NEOPRENE FLEXIBLE CONNECTIONS AT SUPPLY AND RETURN DUCT CONNECTIONS ON HVAC UNITS.
- N. HVAC CONTRACTOR SHALL BALANCE HVAC SYSTEM TO AIR QUANTITIES INDICATED - PROVIDE TYPED WRITTEN REPORT TO OWNER UPON COMPLETION.
- O. CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID TO VERIFY ALL EXISTING CONDITIONS.
- P. ALL WORK SHALL BE FURNISHED AND INSTALLED TO COMPLY WITH ALL STATE AND LOCAL CODES.
- Q. SMOKE DETECTORS FOR FAN SHUT-DOWN WHERE REQUIRED BY MECHANICAL CODE SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. REFER TO ELECTRICAL DRAWINGS.
- R. PROVIDE FIRE DAMPERS @ FIRE RATED ASSEMBLY DUCT PENETRATION.

3 HVAC NOTES



4 FRESH AIR INTAKE DETAIL SCALE: NTS



5 ROOM EXHAUST DETAIL SCALE: NTS

RA Design & Consultants LLP
 35 Journal Square Suite 402 Jersey City, New Jersey 07306
 t. (201) 680-7132 www.radellp.com

Raul Cabato, Architect
 email: raul@radellp.com
 Connecticut License No. 13884
 New Jersey License No. 21A101463700
 New York License No. 025075

NO.	DATE	COMMENT
1	SEPT. 28, 2020	BLDG. CONTRACTOR REVISION
2	SEPT. 18, 2020	JC BUILDING DEPT. REVISION
3	FEB. 12, 2019	JCMUA REVISION
4	JAN. 24, 2019	JCMUA REVISION

APPROVAL STAMPS AND SIGNATURES

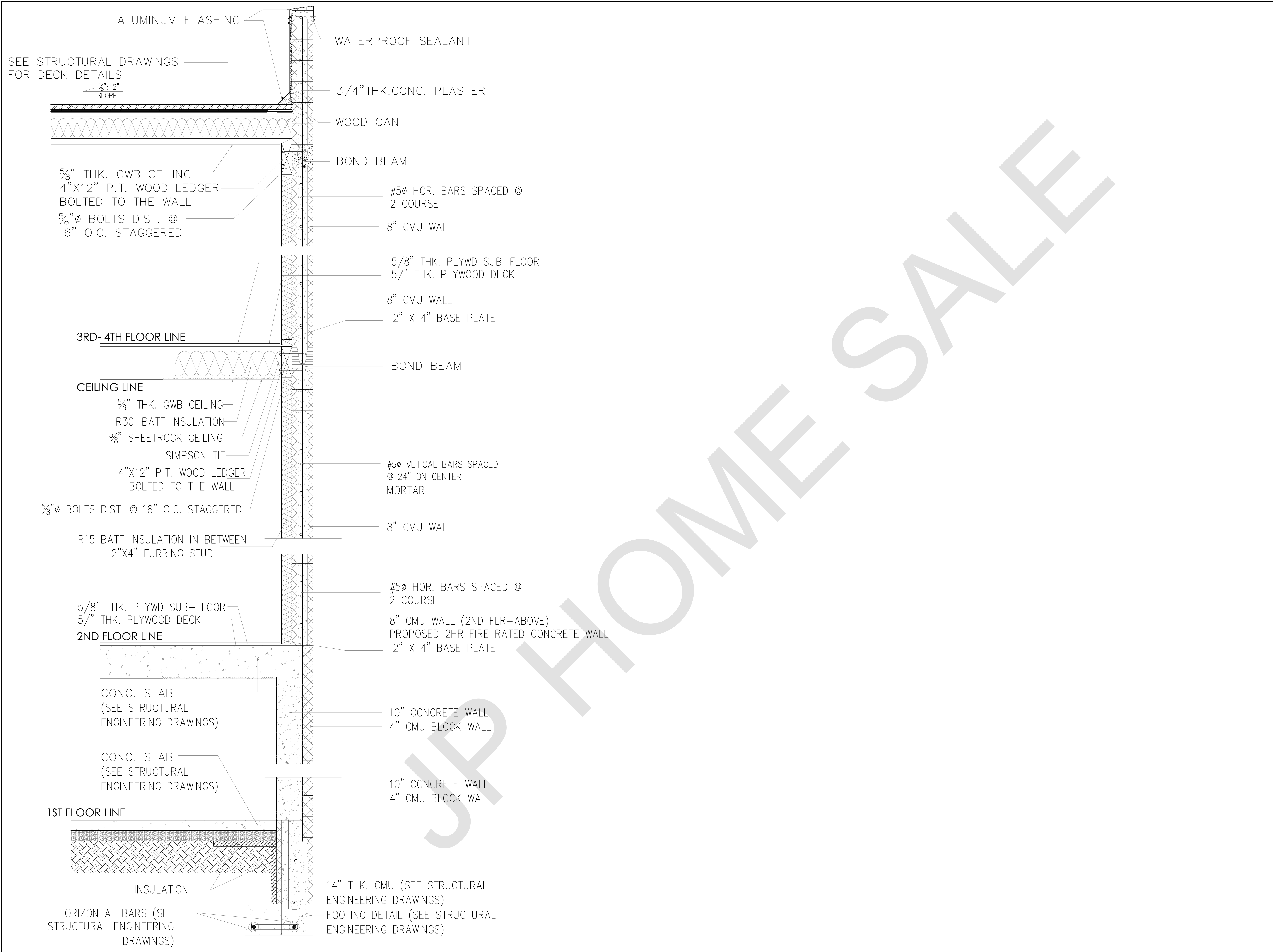
DRAWING TITLE: HVAC LAYOUT
 BSCAN STICKER

PROJECT NAME AND ADDRESS: 276 DUNCAN AVE. JERSEY CITY, NEW JERSEY BLOCK: 14602, LOT: 23,24,25,26

PROJECT DESCRIPTION: CONSTRUCTION OF NEW MULTI-FAMILY BUILDING (4 STORY & 12 APARTMENTS)

OWNER'S NAME AND ADDRESS

SEAL	DRAWN BY: VM	SCALE: AS NOTED
	CHECKED BY: RC	DATE: OCT. 25, 2018
	FILE	BUILDING PLAN ID NUMBER: M-100.00
	PAGE NO.	



RA Design & Consultants LLP

35 Journal Square
Suite 402
Jersey City, New Jersey 07306
t. (201) 680-7132
www.radellp.com

Raul Cabato, Architect
email: raul@radellp.com

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4	SEPT. 28, 2020	BLDG. CONTRACTOR REVISION
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NO.	DATE	COMMENT

APPROVAL STAMPS AND SIGNATURES

DRAWING TITLE: WALL SECTION, HAUNCH FOOTING, WALL TO CEILING ASSEMBLIES

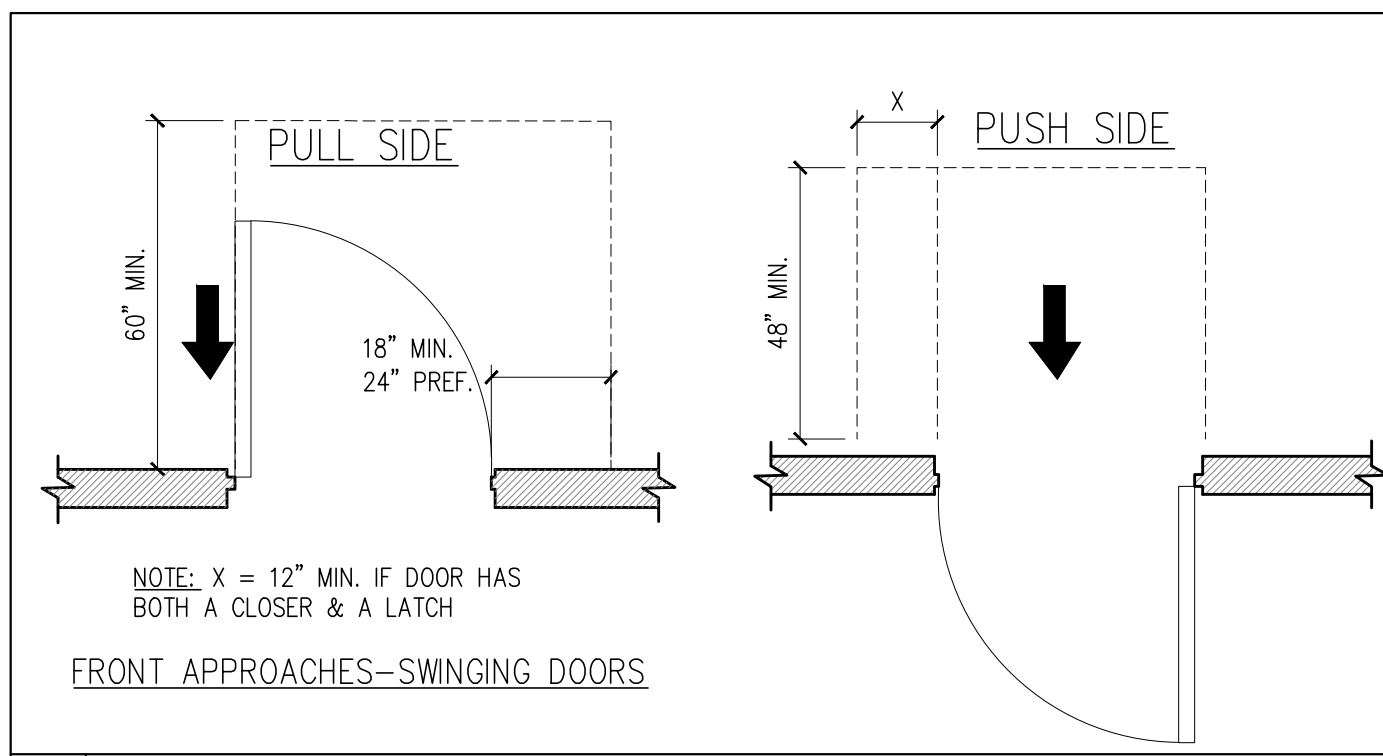
BSCAN STICKER

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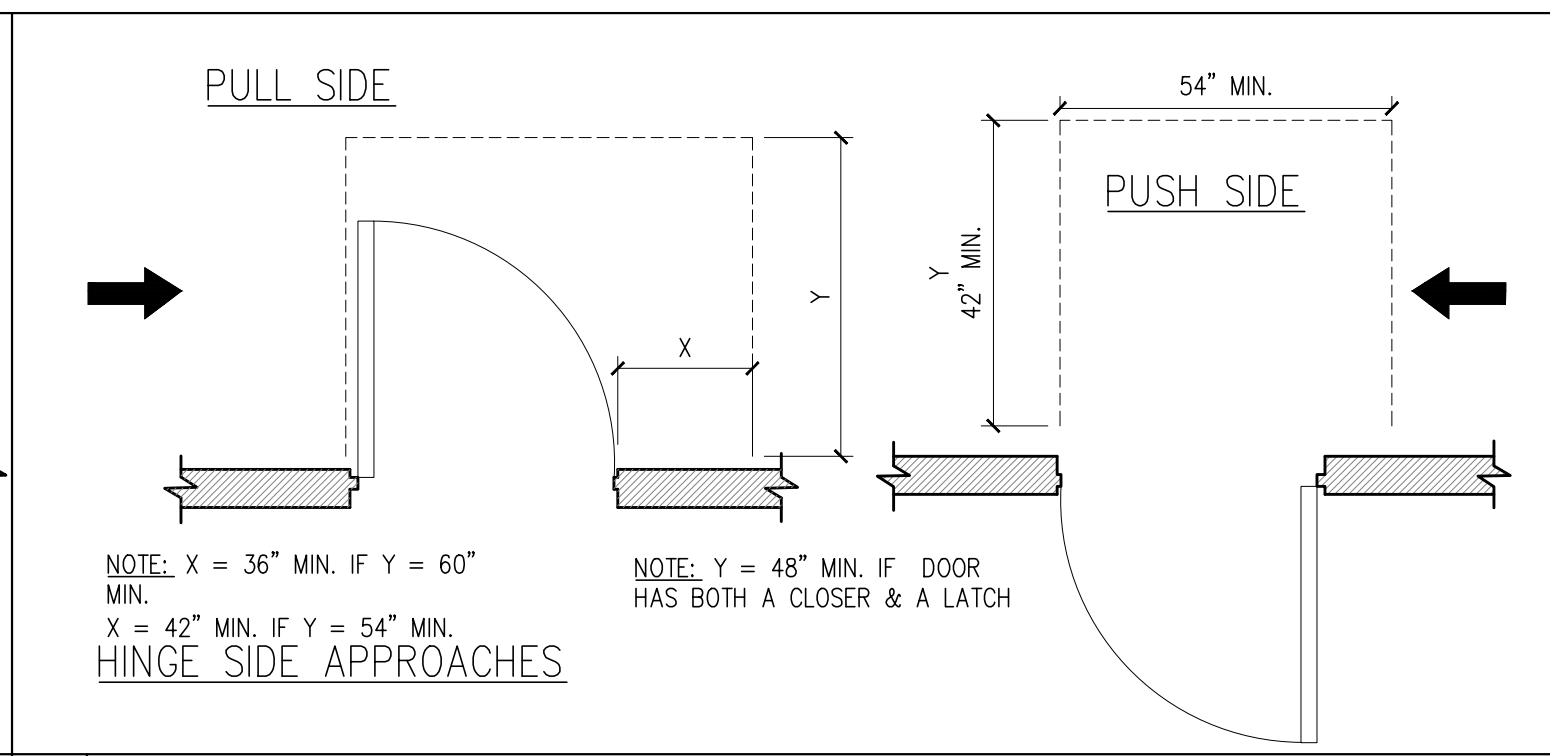
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OWNER'S NAME AND ADDRESS

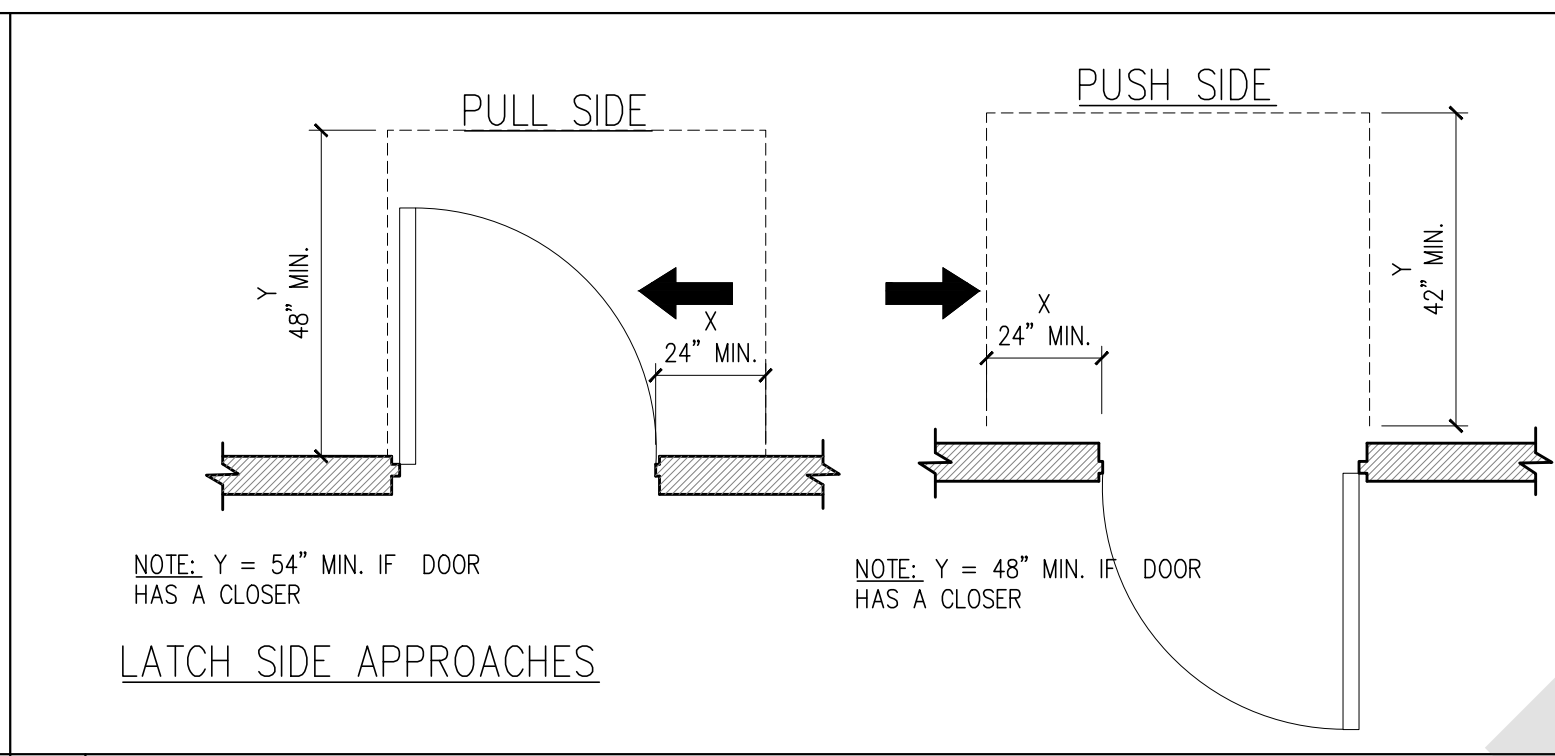
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CHECKED BY: RC	DATE: OCT. 25, 2018
FILE	BUILDING PLAN ID NUMBER
PAGE NO.	S-101.00



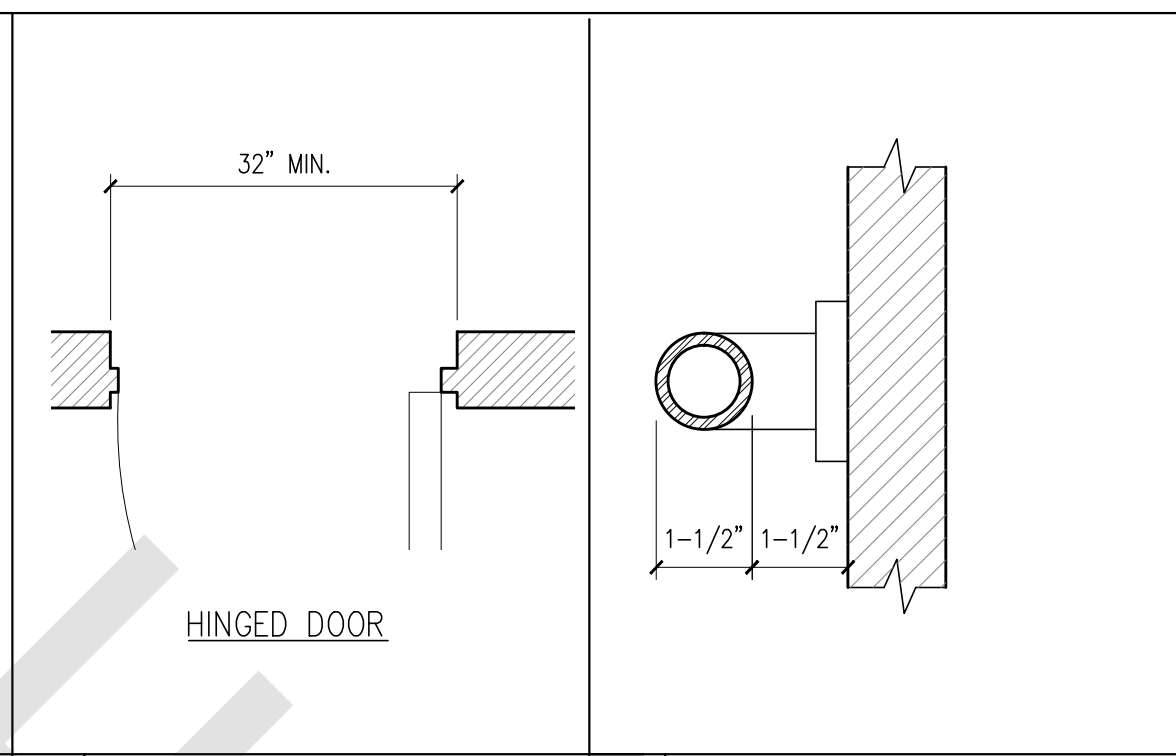
1 MANEUVERING CLEARANCES



2 MANEUVERING CLEARANCES



3 MANEUVERING CLEARANCES



4 CLEAR DOORWAY

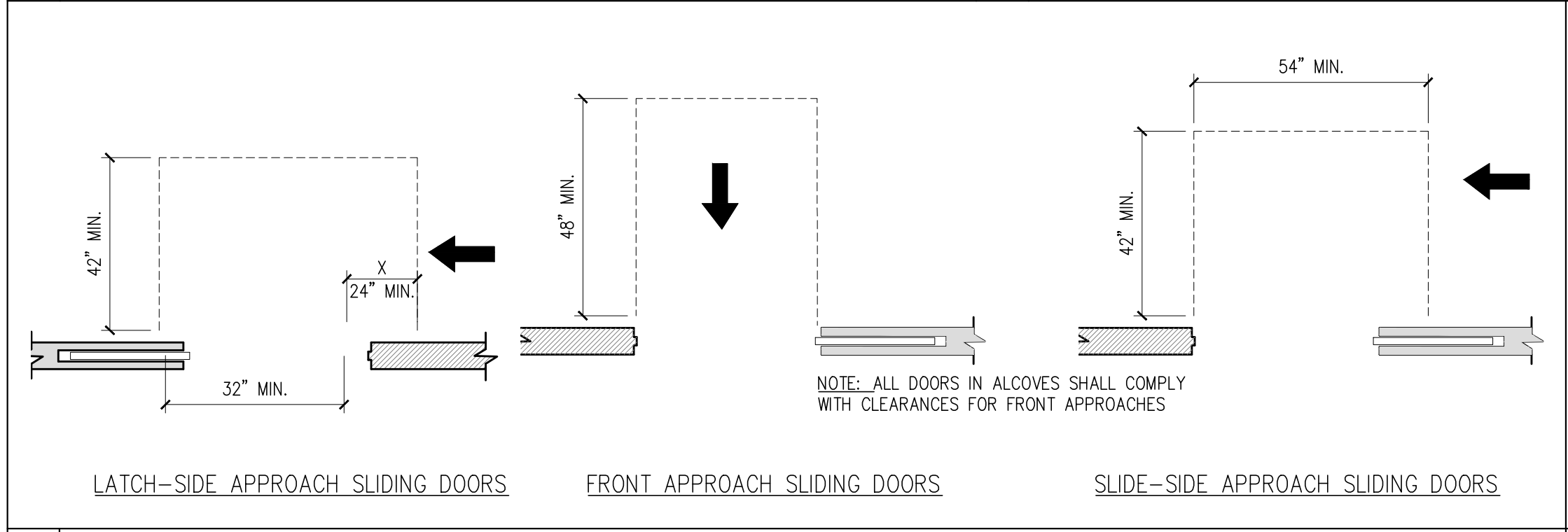
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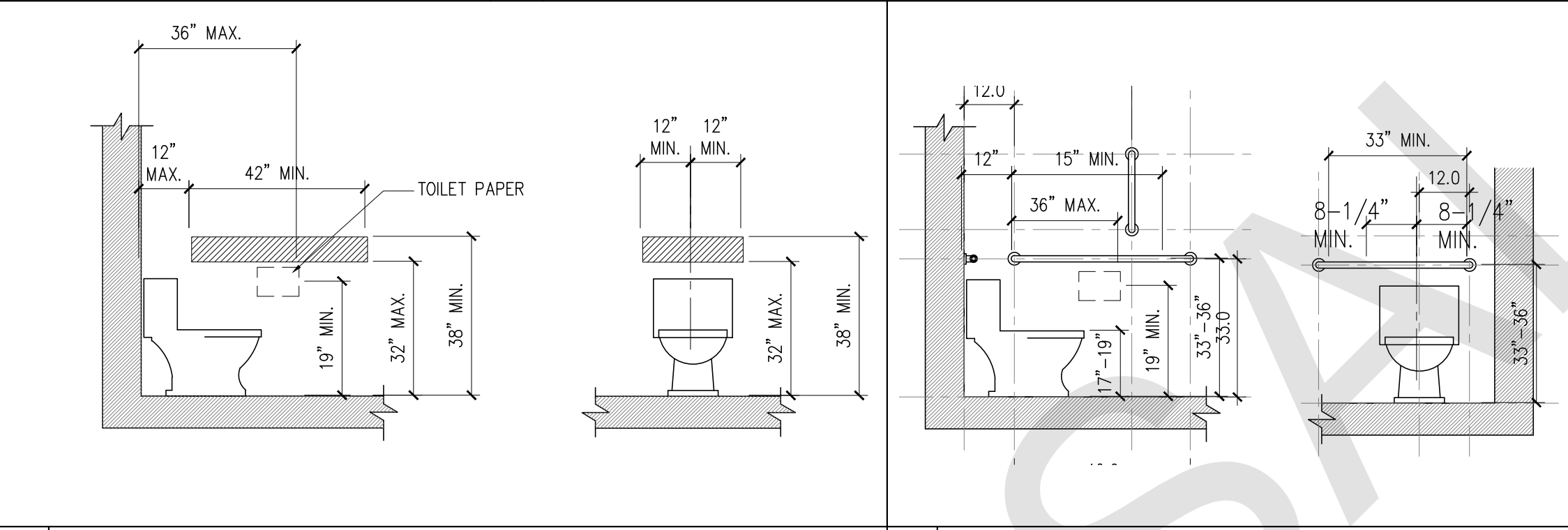
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email: raul@radellp.com

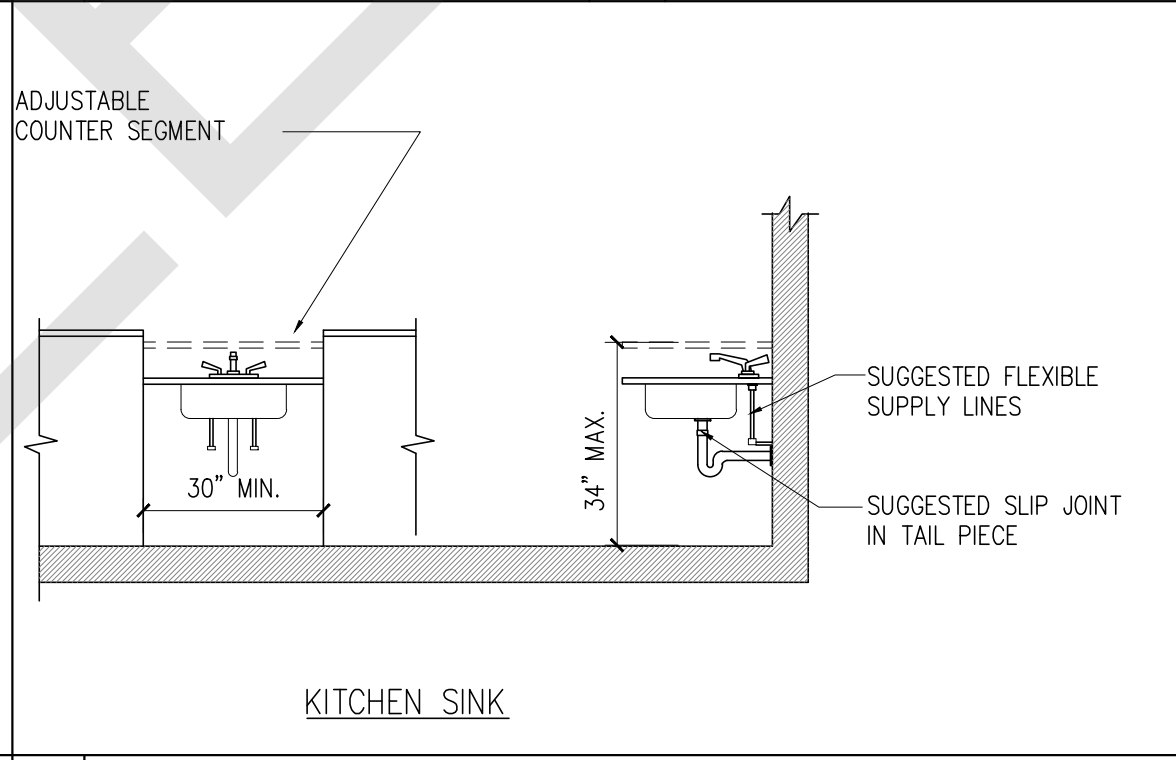
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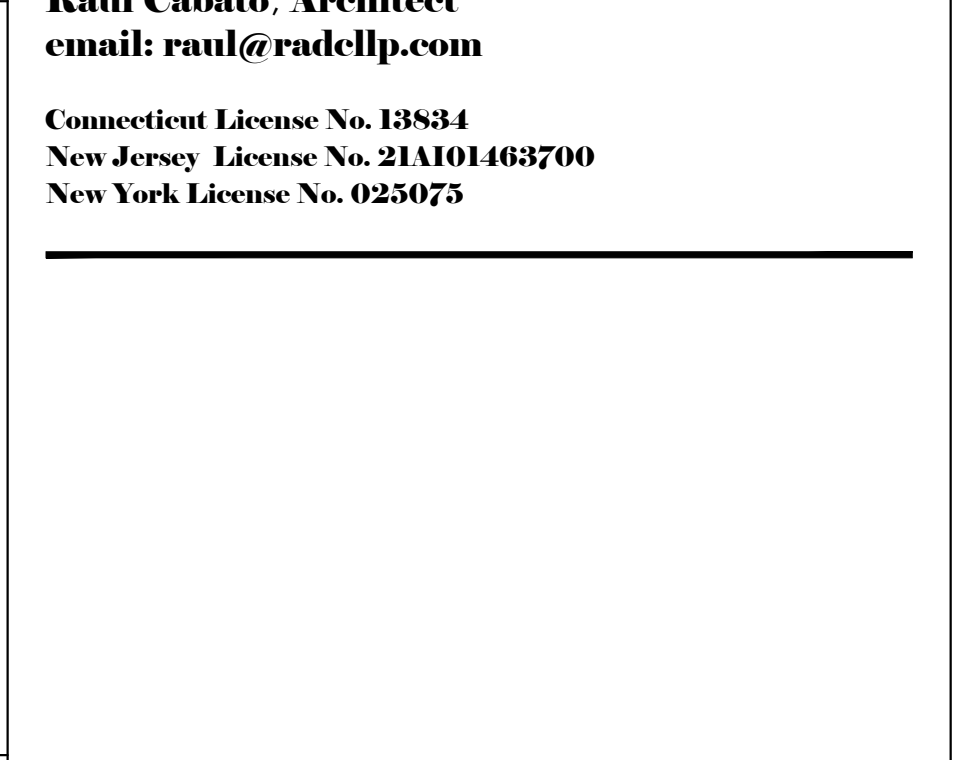
6 MANEUVERING CLEARANCES AT DOORS



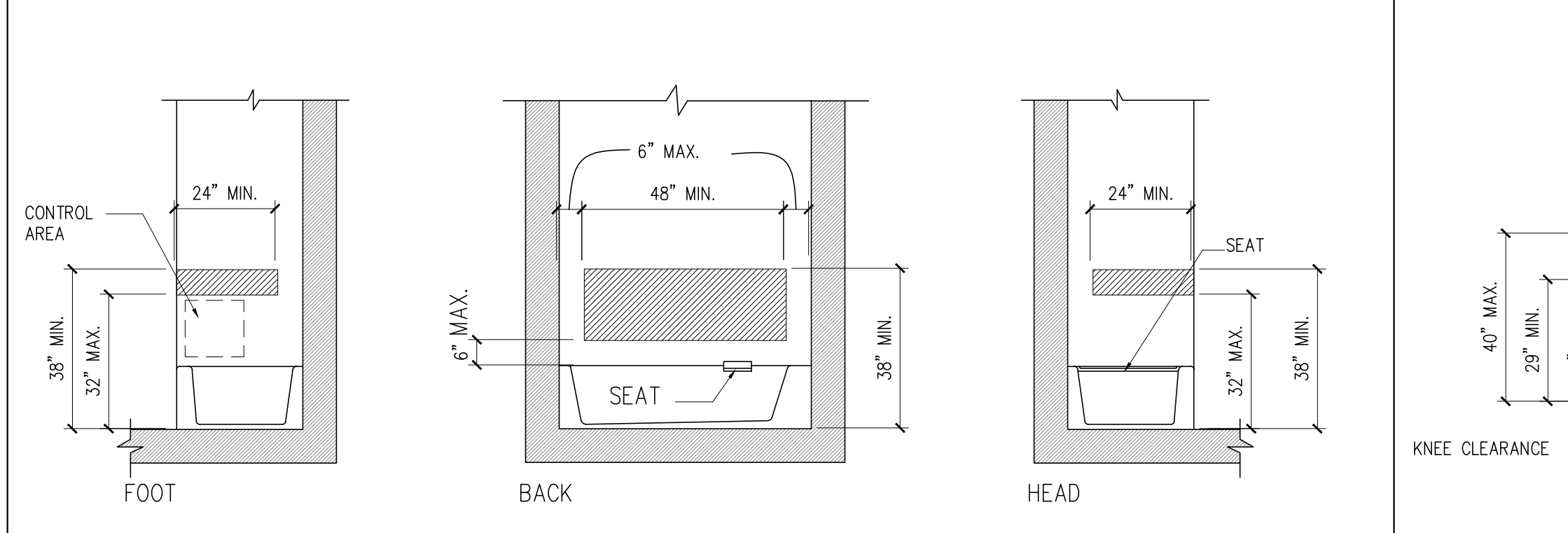
7 WATER CLOSETS - ADAPTABLE BATHROOMS



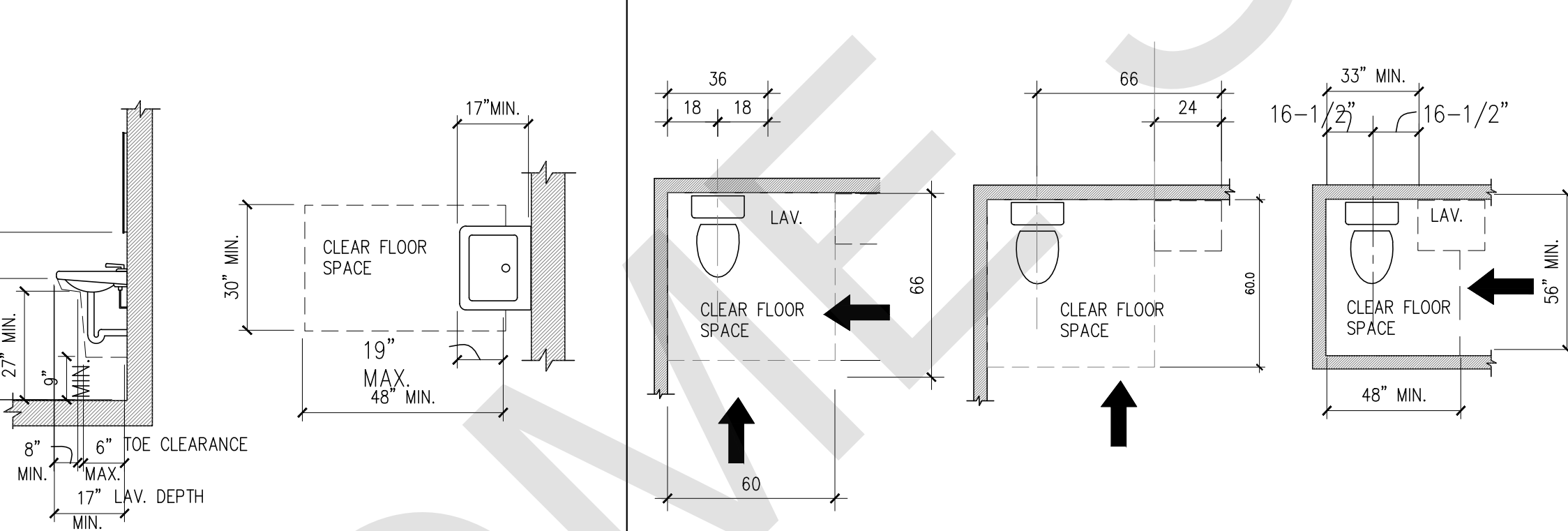
8 WATER CLOSETS - ACCESSIBLE BATHROOMS



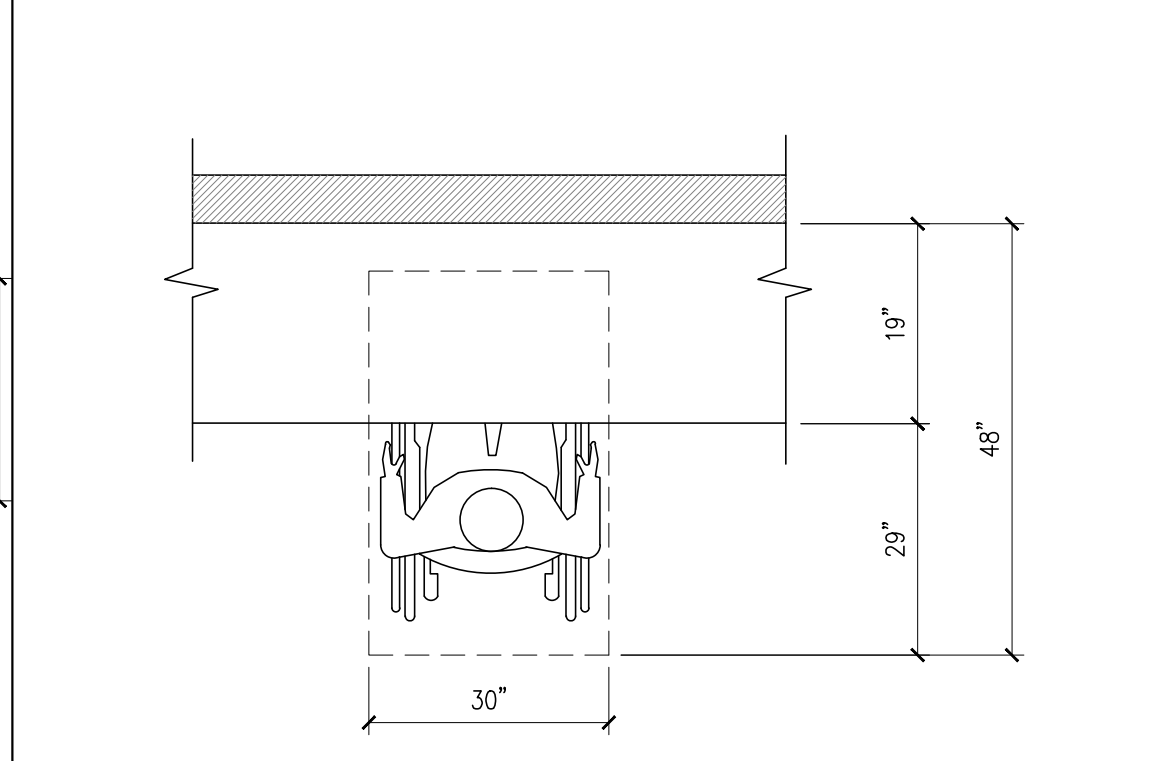
9 KITCHEN SINK



10 GRAB BAR REINFORCEMENT LOCATIONS



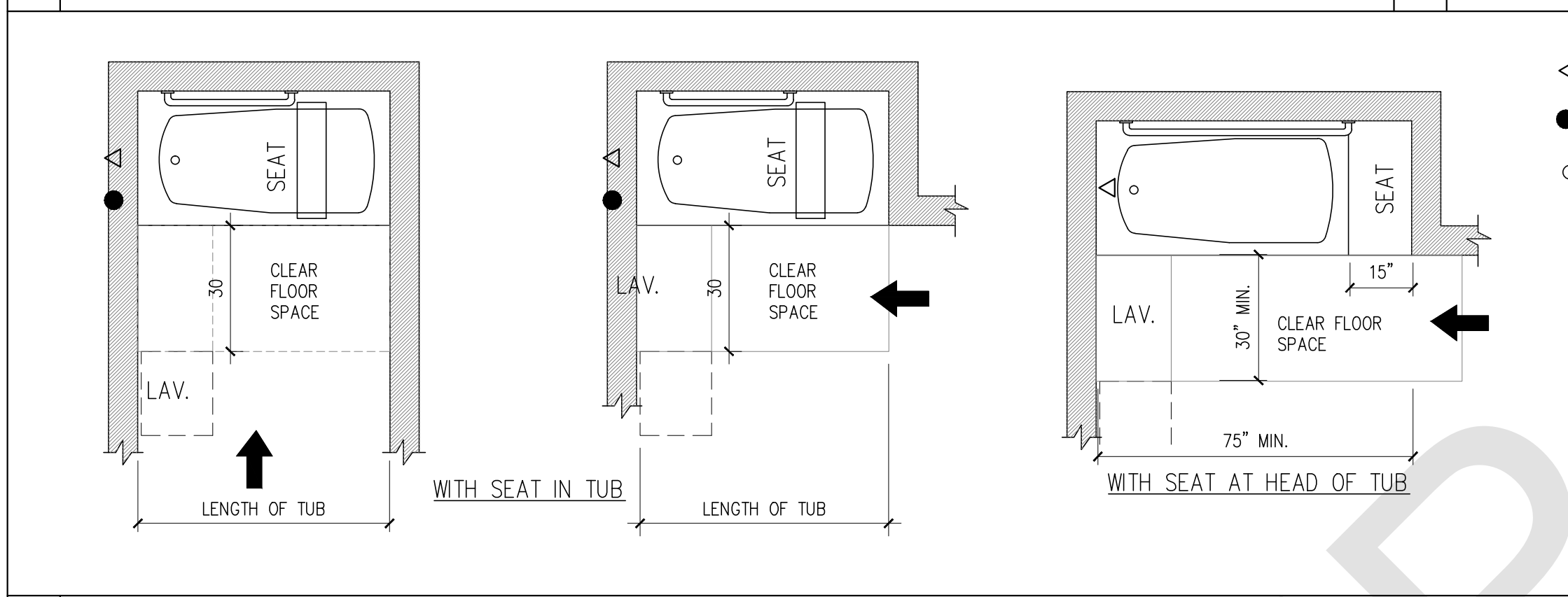
11 LAVATORY CLEARANCES



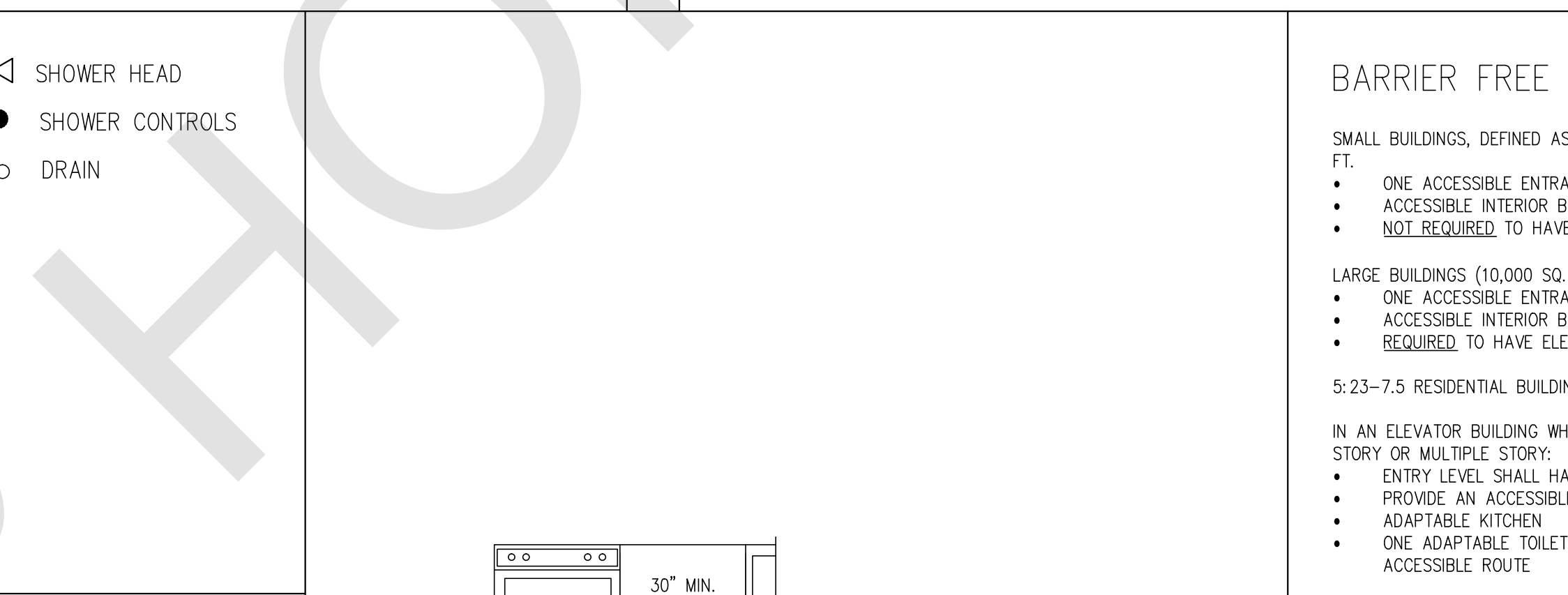
12 CLEAR FLOOR SPACE



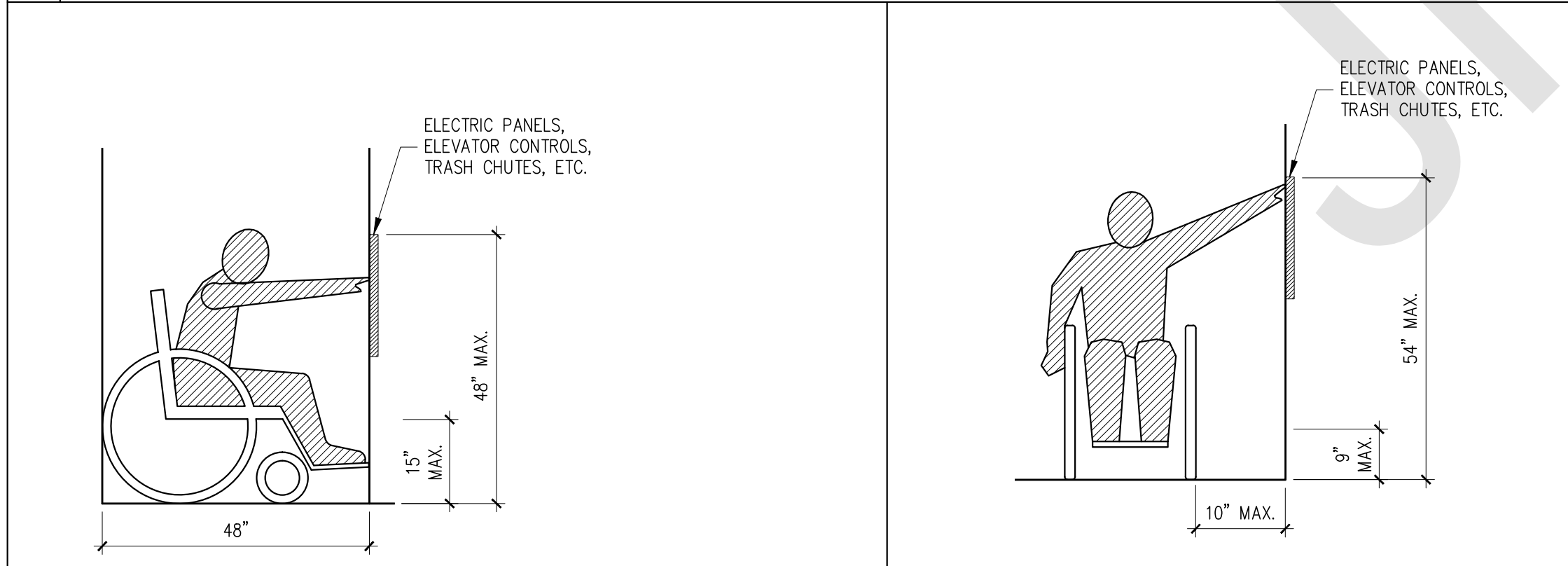
13 COUNTER WORK SURFACE



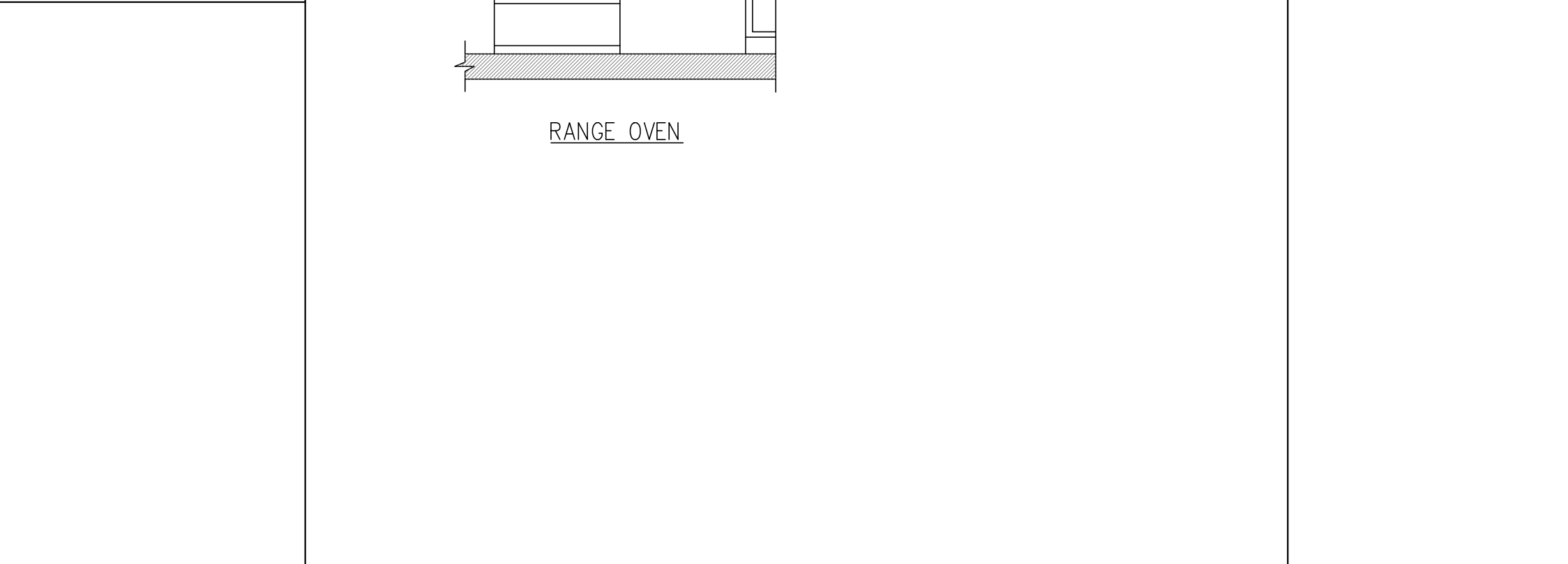
14 CLEAR FLOOR SPACE AT BATHTUBS



17 RANGE OVEN CLEARANCE



15 FORWARD REACH



16 SIDE REACH

BARRIER FREE SUBCODE NOTES

SMALL BUILDINGS, DEFINED AS THOSE WITH LESS THAN 10,000 SQ. FT.

- ONE ACCESSIBLE ENTRANCE ON THE GROUND FLOOR
- ACCESSIBLE INTERIOR BUILDINGS ON ALL FLOORS
- NOT REQUIRED TO HAVE ELEVATORS

LARGE BUILDINGS (10,000 SQ. FT. OR MORE)

- ONE ACCESSIBLE ENTRANCE ON THE GROUND FLOOR
- ACCESSIBLE INTERIOR BUILDINGS ON ALL FLOORS
- REQUIRED TO HAVE ELEVATORS

5:23-7.5 RESIDENTIAL BUILDINGS OTHER THAN GROUP R-1

IN AN ELEVATOR BUILDING WHETHER A DWELLING UNIT IS A SINGLE STORY OR MULTIPLE STORY:

- ENTRY LEVEL SHALL HAVE AN ACCESSIBLE ENTRANCE
- PROVIDE AN ACCESSIBLE ROUTE THROUGHOUT ENTRY LEVEL
- ADAPTABLE KITCHEN
- ONE ADAPTABLE TOILET AND BATHING FACILITY ON THE ACCESSIBLE ROUTE

NO.	DATE	COMMENT

APPROVAL STAMPS AND SIGNATURES

DRAWING TITLE: **HANDICAPPED DETAILS**

PROJECT NAME AND ADDRESS: **276 DUNCAN AVE. JERSEY CITY, NEW JERSEY BLOCK: 14602, LOT: 23,24,25,26**

PROJECT DESCRIPTION: **CONSTRUCTION OF NEW MULTI-FAMILY BUILDING (4 STORY & 12 APARTMENTS)**

OWNER'S NAME AND ADDRESS: **FARZANA ALI**

SEAL: *[Signature]*

DRAWN BY: **VM** SCALE: **AS NOTED**

CHECKED BY: **RC** DATE: **FEB. 09, 2018**

FILE: **BUILDING PLAN ID NUMBER**

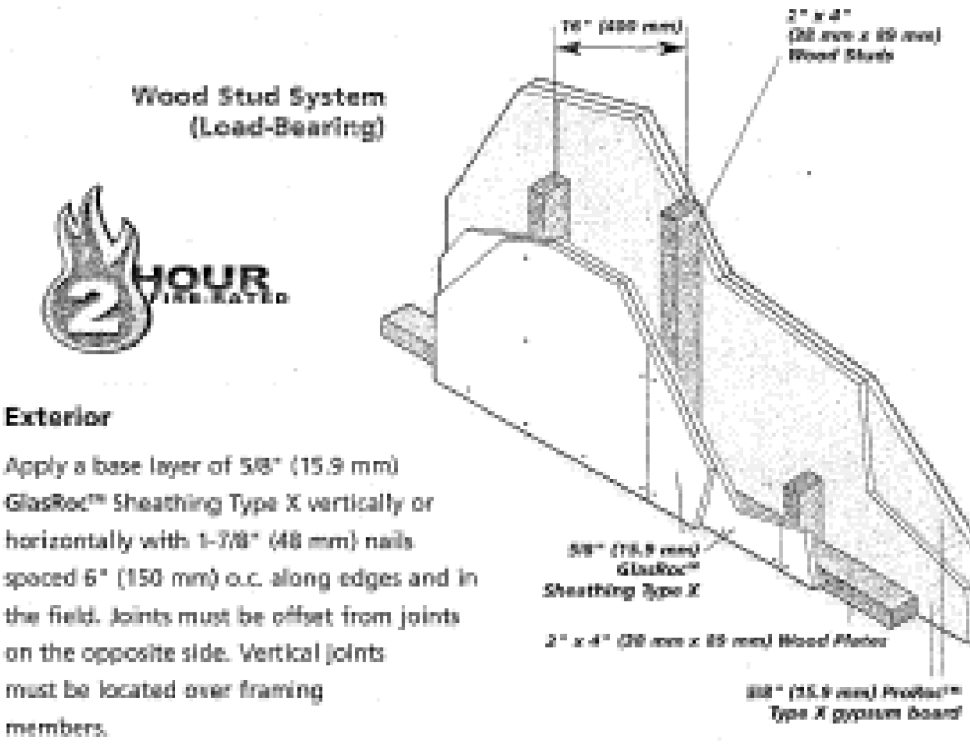
PAGE NO.: **HC-1**

Reference: UL Design U301

2-Hour Fire-Resistance Rating
Cavity thickness 3-1/2" (89 mm)
Wall thickness 6" (152 mm)
Weight 12 psf (59 kg/m²)

Exterior
Apply a base layer of 5/8" (15.9 mm) ProCeram™ Type X gypsum board vertically or horizontally with 1-7/8" (48 mm) nails spaced 6" (152 mm) o.c. along edges and in the field. Joints must be offset from joints on the opposite side. Vertical joints must be located over framing members.

Apply a face layer of 5/8" (15.9 mm) ProCeram™ Type X gypsum board vertically or horizontally with 2-3/8" (60 mm) nails spaced 8" (203 mm) o.c. along edges and in the field. Joints must be offset from joints in the underlying layer. Tape and finish joints.



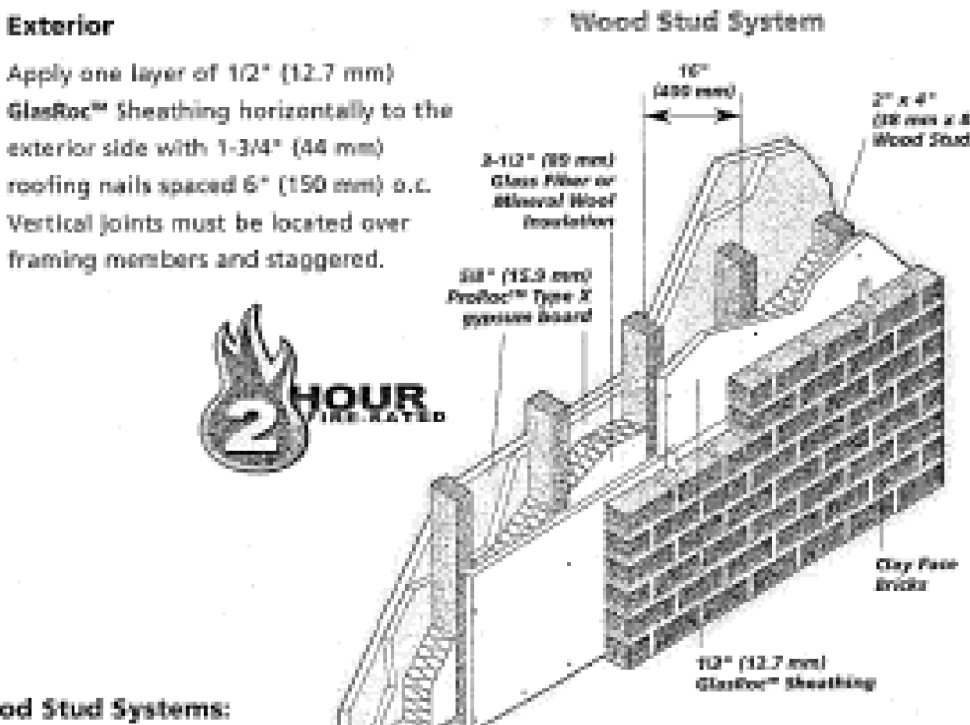
Reference: UL Design U302

2-Hour Fire-Resistance Rating
Cavity thickness 3-1/2" (89 mm)
Wall thickness 10" (254 mm)

Exterior
Apply one layer of 1/2" (12.7 mm) GlasRoc™ Sheathing horizontally to the exterior side with 1-3/4" (44 mm) roofing nails spaced 6" (152 mm) o.c. Vertical joints must be located over framing members and staggered.

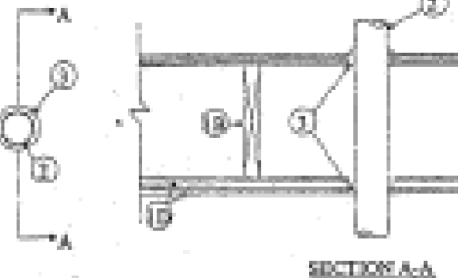
Apply a base layer of 5/8" (15.9 mm) ProCeram™ Type X gypsum board vertically or horizontally with 1-7/8" (48 mm) nails spaced 8" (203 mm) o.c. Vertical joints must be located over framing members.

Apply a face layer of 5/8" (15.9 mm) ProCeram™ Type X gypsum board vertically or horizontally to the interior side with 2-3/8" (60 mm) nails spaced 8" (203 mm) o.c. Joints must be offset from joints in the underlying layer. Tape and finish joints.

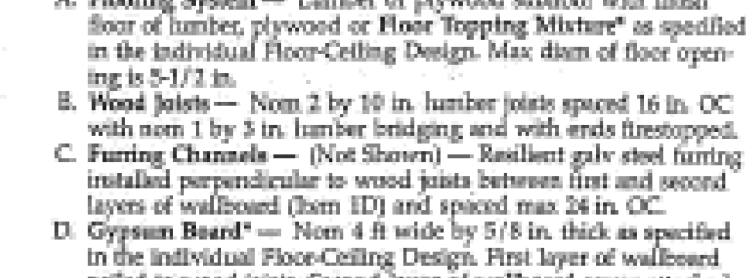


Additional UL Design Listings for Wood Stud Systems:
U322, U323, U324, U325, U326, U329, U330, U332, U337, U338, U339, U341, U342, U354, U355, U357, U358, U360.

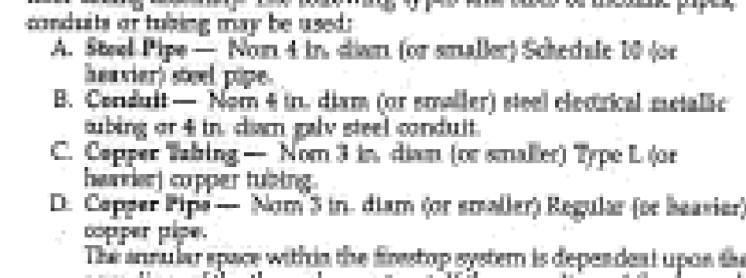
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T Rating — 1/2 Hr



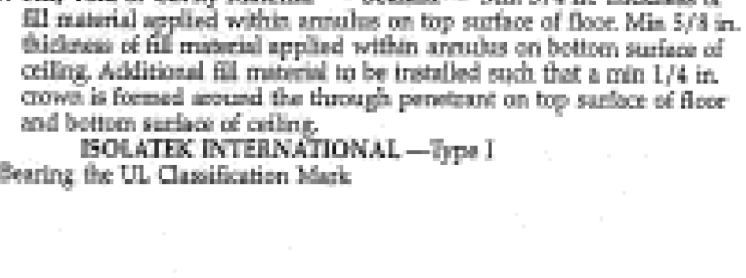
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F Rating — 2 Hr
T Rating — 1/2 Hr



System No. F-C-2055
F Rating — 2 Hr
T Rating — 2 Hr



System No. F-C-2031
F Rating — 2 Hr
T Rating — 0 Hr



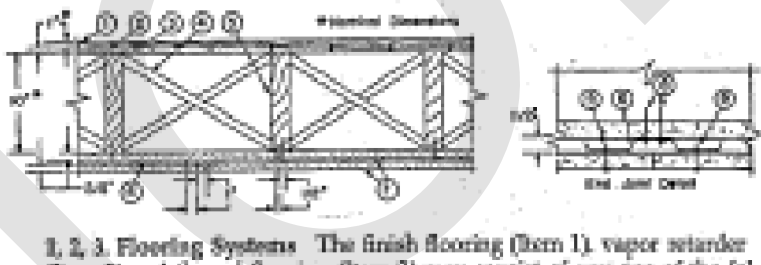
WALLS AND INTERIOR PARTITIONS, WOOD-FRAMED

GA FILE NO. WP 4135	GENERIC	2 HOUR	
		FIRE	SOUND
GYPSUM WALLBOARD, WOOD STUDS			
Base layer 1/2" Type X gypsum wallboard or veneer base applied at right angles to each side of 2 x 4 wood studs 24" o.c. with 6d coated nails, 1 1/8" long, 0.065" shank, 1/4" heads, 24" o.c. Face layer 5/8" Type X gypsum wallboard or gypsum veneer base applied at right angles to each side with 8d coated nails, 2 3/4" long, 0.100" shank, 1/4" heads, 8" o.c.			
Joints staggered 24" each layer and side. Sound tested with studs 16" o.c. and with nails for base layer spaced 6" o.c. (LOAD-BEARING)			
Thickness:		6 1/4"	
Approx. Weight:		12 psf	
Fire Test:		FM WP 360, 9-27-74	
Sound Test:		NGC 2363, 4-1-70	

GA FILE NO. WP 4136	GENERIC	2 HOUR	
		FIRE	SOUND
GYPSUM WALLBOARD, WOOD STUDS			
Base layer 1/2" Type X gypsum wallboard or veneer base applied parallel or at right angles to each side of 2 x 4 wood studs 16" o.c. with 1 1/4" Type W drywall screws 12" o.c. Face layer 5/8" Type X gypsum wallboard or veneer base applied parallel or at right angles to each side with 1 7/8" Type W drywall screws 12" o.c. and offset 6" from screws in base layer.			
Joints staggered 16" each layer and side. (LOAD-BEARING)			
Thickness:		6 1/4"	
Approx. Weight:		12 psf	
Fire Test:		SWRI 01-5920-614, 12-S-94	
Sound Test:		See WP 4135 (NGC 2363, 4-1-70)	

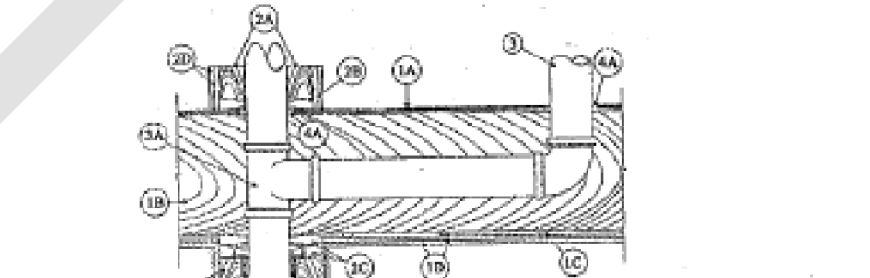
GA FILE NO. WP 4135	GENERIC	2 HOUR	
		FIRE	SOUND
GYPSUM WALLBOARD, WOOD STUDS			
Base layer 1/2" Type X gypsum wallboard or veneer base applied parallel or at right angles to each side of 2 x 4 wood studs 16" o.c. with 1 1/4" Type W drywall screws 12" o.c. Face layer 5/8" Type X gypsum wallboard or veneer base applied parallel or at right angles to each side with 1 7/8" Type W drywall screws 12" o.c. and offset 6" from screws in base layer.			
Joints staggered 16" each layer and side. (LOAD-BEARING)			
Thickness:		6 1/4"	
Approx. Weight:		12 psf	
Fire Test:		SWRI 01-5920-614, 12-S-94	
Sound Test:		See WP 4135 (NGC 2363, 4-1-70)	

Design No. L536
Use: Ceiling Assembly Rating — 2 Hr.
Finish Rating — 71 Min.

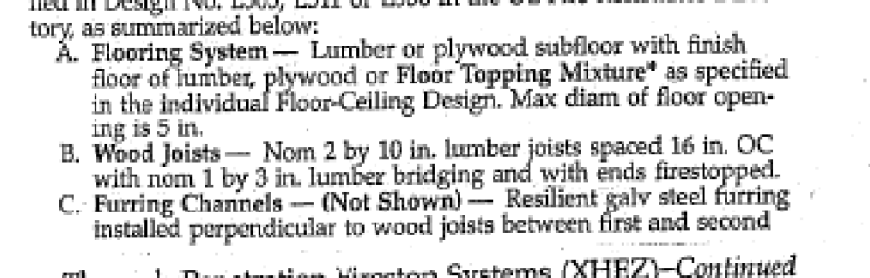


- Floor-Ceiling Assembly** — The 2 hr fire-rated wood joist floor-ceiling assembly shall be constructed of the materials and in the manner specified in Design Nos. L505, L511 or L536 in the UL Fire Resistance Directory, as summarized below:
 - Flooring System** — Lumber or plywood subfloor with finish floor of lumber, plywood or Floor Topping Mixture* as specified in the individual Floor-Ceiling Design. Max diam of floor opening is 5-1/2 in.
 - Wood Joists** — Nom 2 by 10 in. lumber joists spaced 16 in. OC with nom 1 by 3 in. lumber bridging and with ends firestopped.
 - Furring Channels** — (Not Shown) — Resilient galv steel furring installed perpendicular to wood joists between first and second layers of wallboard (Item 1D) and spaced max 24 in. OC.
 - Gypsum Board** — Two layers 5/8 in. thick as specified in the individual Floor-Ceiling Design. First layer of wallboard nailed to wood joists. Second layer of wallboard screw-attached to furring channels. Max diam of ceiling opening is 5-1/2 in.
- Chase Wall** — The through penetrant (Item 3) shall be routed through a 2 hr fire-rated single, double or staggered wood stud/gypsum wallboard chase wall constructed of the materials and in the manner specified in the individual U300 Series Wall and Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:
 - Studs** — Nom 2 by 6 in. or double nom 2 by 4 in. lumber studs, tightly butted.
 - Top Plate** — The double top plate shall consist of two 2x4 in. lumber plates, one on top and one on bottom, with 3 in. staggered joints.
 - Gypsum Board** — Thickness, type, number of layers and fasteners shall be as specified in individual Wall and Partition Design.
- Through Penetrants** — One metallic pipe, conduit or tubing to be installed either concentrically or eccentrically within the firestop system. Pipe, conduit or tubing to be rigidly supported on both sides of floor-ceiling assembly. The following types and sizes of metallic pipes, conduits or tubing may be used:
 - Steel Pipe** — Nom 4 in. diam (or smaller) Schedule 10 (or heavier) steel pipe.
 - Conduit** — Nom 4 in. diam (or smaller) steel electrical metallic tubing or 4 in. diam galv steel conduit.
 - Copper Tubing** — Nom 3 in. diam (or smaller) Type L (or heavier) copper tubing.
 - Copper Pipe** — Nom 3 in. diam (or smaller) Regular (or heavier) copper pipe.
- Fill, Void or Cavity Material** — Sealant — Min 3/4 in. thickness of all material applied within annulus on top surface of floor. Min 5/8 in. thickness of fill material applied within annulus on bottom surface of ceiling. Additional fill material to be installed such that a max 1/4 in. crown is formed around the through penetrant on top surface of floor and bottom surface of ceiling.
 - ISOLATEK INTERNATIONAL — Type I
 - Bearing the UL Classification Mark.
- Through-Penetrant Firestop Systems (XHEZ)** — Continued
 - Flooring System** — Lumber or plywood subfloor with finish floor of lumber, plywood or Floor Topping Mixture* as specified in the individual Floor-Ceiling Design. Max diam of floor opening is 5-1/2 in.
 - Wood Joists** — Nom 2 by 10 in. lumber joists spaced 16 in. OC with nom 1 by 3 in. lumber bridging and with ends firestopped.
 - Furring Channels** — (Not Shown) — Resilient galv steel furring installed perpendicular to wood joists between first and second layers of wallboard (Item 1D) and spaced max 24 in. OC.
 - Gypsum Board** — Nom 4 ft wide by 5/8 in. thick as specified in the individual Floor-Ceiling Design. First layer of wallboard nailed to wood joists. Second layer of wallboard screw-attached to furring channels. Max diam of ceiling opening is 5-1/2 in.
 - Nonmetallic Pipe** — Nom 1-1/2, 2, 3 or 4 in. diam Schedule 40 polyvinyl chloride (PVC) pipe for use in closed (process or supply) or vented (drain, waste or vent) piping system. Diam of openings hole-sawed through flooring system and through two-layer gypsum wallboard ceiling to be no greater than 1 1/8 in. larger than outside diam of pipe. Pipe to be installed approximately midway between wood joists and centered in openings. Pipe to be rigidly supported on both sides of floor-ceiling assembly.
 - Firestop Device** — PVC pipe sleeve (sealed to nonmetallic pipe) provided with an intumescent wrap mechanically attached to the sleeve with a steel restricting collar with steel mounting flange. Firestop device slid onto nonmetallic pipe on underside of subfloor (Item 1A) and secured to wood joists (Item 1D) and spaced max 24 in. OC in accordance with the accompanying installation instructions. Firestop device secured to subfloor with min 3/4 in. long steel screws in conjunction with 1-1/4 in. diam metal ender washers in each end. Firestop device secured to finished gypsum wallboard ceiling with 3/8 in. diam steel toggle bolts (1-7/8 in. grip) in conjunction with 1-1/4 in. diam metal ender washers in each pre-drilled hole in the mounting flange.
 - PIPE COUPLINGS** — Types SM 1-1/2, SLV 2, SLV 3, SLV 4
 - Pipe Covering** — Nom 1 in. thick hollow cylindrical heavy density min 3.5 pcf glass fiber units jacketed on the outside with an all service jacket. Min 4 in. level of pipe concrete installed around pipe at its ingress from the firestop device on the ceiling side of the assembly. Pipe covering secured to pipe with steel wire ties in accordance with the Firestop System Manual. See Pipe and Equipment Covering Material (BREQ) category in Building Materials Directory for names of manufacturers. Any pipe covering material meeting the above specifications and bearing the UL Classification Mark with a Flame Spread Value of 25 or less and a Smoke Developed Value of 50 or less may be used.
 - Bearing the UL Classification Mark.

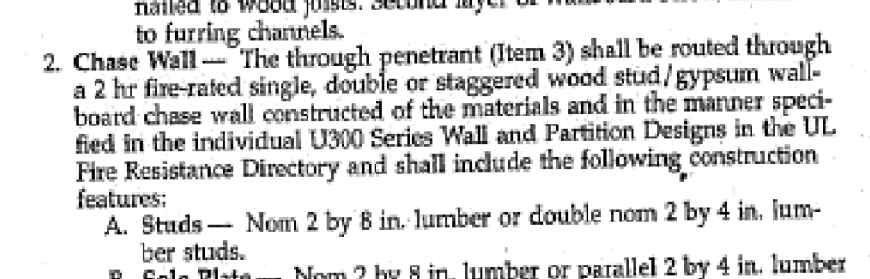
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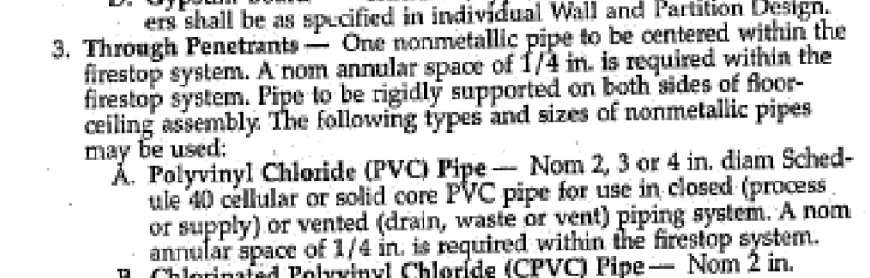
System No. F-C-2031
F Rating — 2 Hr
T Rating — 0 Hr



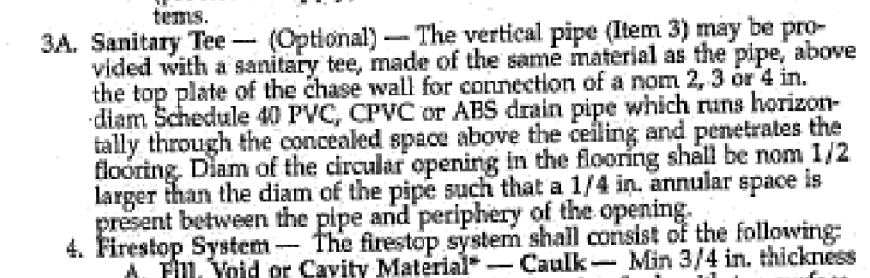
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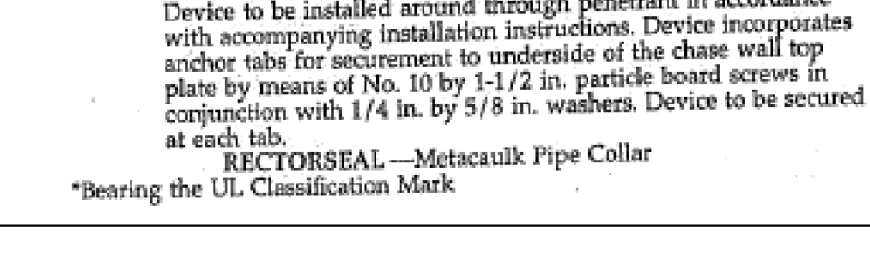
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F Rating — 2 Hr
T Rating — 1/2 Hr



System No. F-C-2055
F Rating — 2 Hr
T Rating — 2 Hr



System No. F-C-2031
F Rating — 2 Hr
T Rating — 0 Hr



Design & Consultants LLP
35 JOURNAL SQUARE
SUITE 402
JERSEY CITY, NEW JERSEY 07306
t. (201) 680-7132
www.radcllp.com

Raul Cabato, Architect
email: raul@radcllp.com

Connecticut License No. 13834
New Jersey License No. 21A101463700
New York License No. 025075

NO.	DATE	COMMENT
APPROVAL STAMPS AND SIGNATURES		

DRAWING TITLE	BSCAN STICKER
2-HR FIRE STOP DETAIL	
PROJECT NAME AND ADDRESS	276 DUNCAN AVE. JERSEY CITY, NEW JERSEY BLOCK: 14602, LOT: 23,24,25,26
PROJECT DESCRIPTION	CONSTRUCTION OF NEW MULTI-FAMILY BUILDING (4 STORY & 12 APARTMENTS)
OWNER'S NAME AND ADDRESS	

SCALE	DRAWN BY	SCALE
	VM	AS NOTED
	CHECKED BY	DATE
	RC	OCTOBER 25, 2018
	FILE	BUILDING PLAN ID NUMBER
		FS-101.00
	PAGE NO.	

Raul Cabato